

Riverside Comprehensive Plan



A complement to the 2006 Plan

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Riverside Comprehensive Plan



ACKNOWLEDGEMENTS

The Plan Update would not have been possible without the incredible amount of feedback and input provided by Riverside's citizens and city officials. A special thanks to the hundreds of individuals who freely gave their time and creativity in the hopes of building a better community.

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VISION

Together with our neighbors,
we will create a **diverse
economy**, protect our **precious
natural capital**, and maintain
our **rich sense of community**
and quality of life.



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Why Update the Plan?

Over the last four years, Riverside made significant progress toward the vision set forth in the 2006 Comprehensive Plan. Riverside is transforming the perception of the past and is establishing a strong identity for the community. Investments in public infrastructure have created a foundation for future development and new excitement about future possibilities. This Plan Update is intended to help continue the momentum of the last four years and ensure that the City is moving in the right direction for the near and long-term.

The Update focuses on three primary issues: downtown, Horizons, and city-wide issues of sustainability. Over the last few years, the economic and social environment has changed markedly, and it is important to consider how the downtown and Horizons will develop in light of our evolving economy. The recent economic recession requires realigning the short-term strategy for downtown and Horizons to focus on niche markets in each sector. However, the updated Plan still holds long-term success as its primary goal. Issues of sustainability are expanded beyond the 2006 plan and include economic, social, and environmental considerations that work in harmony with past recommendations.



The current Comprehensive Master Plan included an extensive public process and was adopted by the Board of Aldermen in October, 2006. It includes recommendations for guiding City development over the next 25 years. However, in just four years time over 50% of the plan recommendations have been planned, budgeted, or completed. Much of the 2006 plan will remain intact, and the update will serve to expand and add detail to the good work that went into the 2006 plan.



How to use the plan update

The purpose of the three plan sections—Sustainability, Horizons, and Downtown—is to capture the intent of the public meetings, working sessions, analysis, and to memorialize the community goals. Each piece will serve as a reference and further background for projects as they come and go.

The recommendations for Horizons and south downtown contain greater detail about strategy and design than the 2006 Plan and are intended to replace the corresponding sections from that work. Conversely, the update to sustainability provides a holistic review of issues of sustainability and is intended to compliment, but not replace, each section of the 2006 plan.

IMPLEMENTATION WORKBOOK

The Implementation Workbook is a fundamental compliment to the Plan that will continue to evolve over time. This will not be adopted as part of the Plan so that it can remain a living document capable of flexing and growing as the community moves forward with Plan recommendations. The Implementation Workbook will contain the comprehensive list of strategies, techniques, and indicators that will allow the City to prioritize efforts and make sure they are on the path toward accomplishing the goals and recommendations in the Plan Update. It might be helpful to think of the Plan Update as the description of “where you are going” and the Implementation Workbook as a list of the “routes you could take.”

Vision

The following vision statement emerged from the community meetings, stakeholder interviews, and planning team meetings. This vision should guide major decisions in Riverside and serve as the basis for plan recommendations. A number of statements were used to develop the vision and have been preserved as an extension of and clarification for the intent of the vision. The vision and supporting statements serve to remind leaders of the community's priorities.



Together with our neighbors, we will create a diverse economy, protect our precious natural capital, and maintain our rich sense of community and quality of life.

We, the People of Riverside, Missouri will work together to ...

- Become a centralized natural oasis – protect natural capital
- Chart our own course
- Capitalize on our location
- Protect neighborly connections
- Encourage growth and economic development
- Be vibrant, active, and in motion
- Consider the impact of every decision on future generations
- Create destinations for residents & visitors
- Be fresh, progressive, and cutting edge
- Be enduring
- Be a place where people can live, work, play, and learn

The Process

The process for updating the Riverside Comprehensive Plan included extensive public involvement, rigorous analysis, design exploration, and scenario testing. An interdisciplinary team of planners, landscape architects, architects, engineers, and developers worked closely with citizens and stakeholders to create effective policies and strategies for guiding future growth in Riverside.



Planning Process

The planning process was composed of three phases with each consecutive phase building upon the previous. 'Data Gathering and Analysis' led to 'Visioning', and both served as a foundation for 'Plan Development'.

Analysis

During all three planning phases, the team looked critically at the 2006 plan document. A revised market study, an updated existing conditions evaluation, community feedback, and precedent studies were used to develop plan scenarios.

Public Process

The planning team facilitated an extensive public involvement campaign to get feedback from stakeholders in Riverside. The process included community meetings, stakeholder interviews, and Board updates. The results of the community involvement process and analysis of the community survey is reported in the "What We Heard" section that follows.

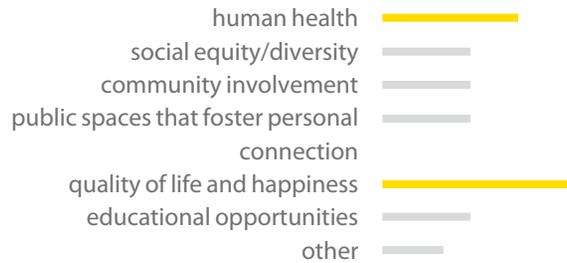
Community members were asked to prioritize the following components of sustainability in order of most valuable to least valuable. Their top choices are shown below.

SUSTAINABILITY

A. ECONOMIC SUSTAINABILITY



B. SOCIAL SUSTAINABILITY



C. ENVIRONMENTAL SUSTAINABILITY



D. HOW PROACTIVE SHOULD THE CITY BE TO PURSUE SUSTAINABILITY INITIATIVES?



Summary

Within sustainability, the community was supportive of most of the techniques listed. They tended to choose the item that felt the most over arching and inclusive of the other items. For instance, in Social Sustainability there was discussion that Quality of Life and Happiness was important and that in order to achieve that, human health, social equity, community involvement, public spaces, and educational opportunities were necessary.

In the environmental category the community provided a considerable amount of feedback about the importance of reducing waste. Although that category did not receive one of the top two spots, it is worth noting that it did garner a large portion of the conversation.

Community members were asked to prioritize characteristics and types of businesses they would like to see in south downtown Riverside. Their top choices are shown below.

DOWNTOWN

A. WHICH CHARACTERISTIC SHOULD BE THE HIGHEST PRIORITY FOR DOWNTOWN RIVERSIDE (RANK FROM 1-4)?

Shops with everyday goods
dry cleaner, groceries, pharmacy



Mixed use
housing, commercial, and civic



Walkable development
a consistent streetscape and
buildings in close proximity



Public spaces and gathering spots



WHAT DOES HAVING A UNIQUE DOWNTOWN MEAN TO YOU (RANK FROM 1-4)?

The architecture is unique



The urban layout is different
from other regional
downtowns



The types of businesses are
unique



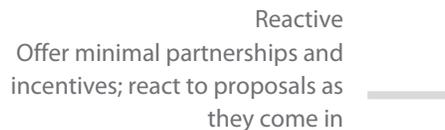
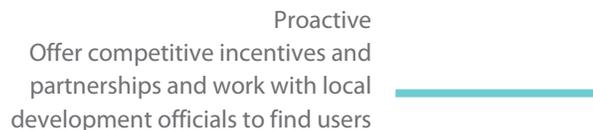
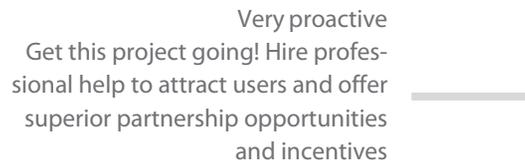
There is a unique feature or
theme (like water features,
public art, or landscaping)



WHO SHOULD IT ATTRACT (CIRCLE ONE)?



HOW PROACTIVE SHOULD THE CITY BE TO PURSUE THESE INITIATIVES THROUGH POLICY CHANGES AND PUBLIC PRIVATE PARTNERSHIPS TO ACHIEVE THE GOALS LISTED ABOVE (CIRCLE ONE)?



Summary

The conversation about downtown Riverside attained the highest level of consensus among the three topics. Stakeholders were clear about the importance of a mixed use urban neighborhood in the south node that could supply the everyday needs of residents.

In the first meeting with the community the stakeholders expressed a desire for downtown to be a unique urban area within Kansas City. In order to clarify what a “unique” downtown meant the group was asked to elaborate. The consensus was around ensuring the urban layout is unique and creating unique spaces such as a water feature, public art, or landscaping.

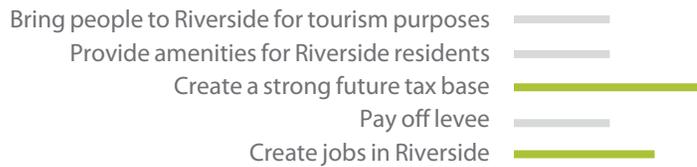
Again the group agreed that the City should be proactive in developing south downtown but that professionals should also be hired to help support marketing and development.



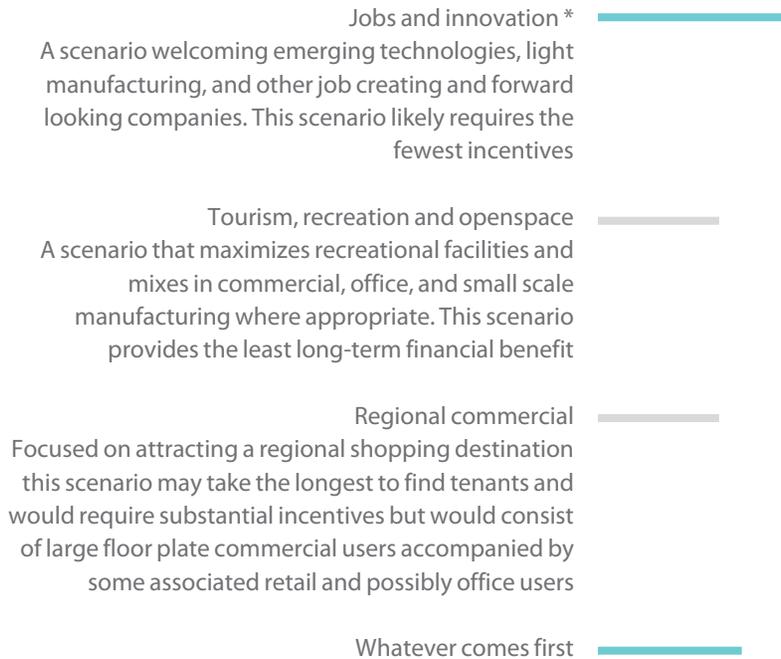
The community prioritized three development scenarios and overall goals for Horizons. Their top choices are shown below.

HORIZONS

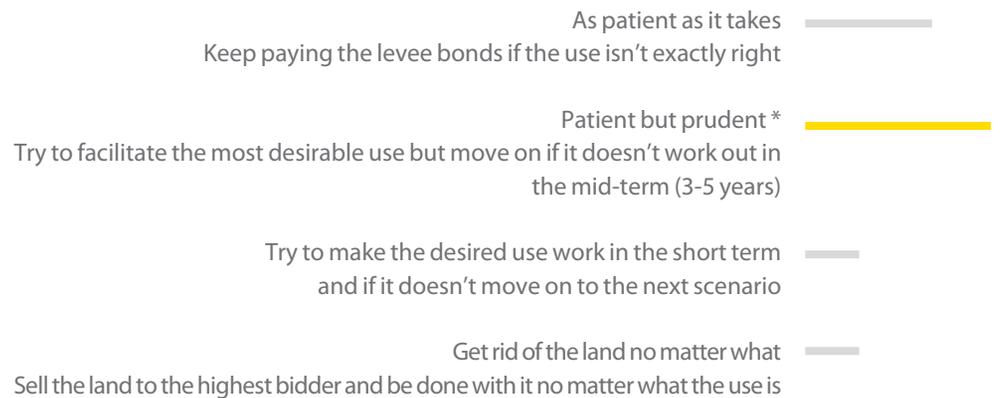
A. WHAT SHOULD BE THE PRIMARY GOAL OF DEVELOPMENT IN HORIZONS (RANK 1-5)?



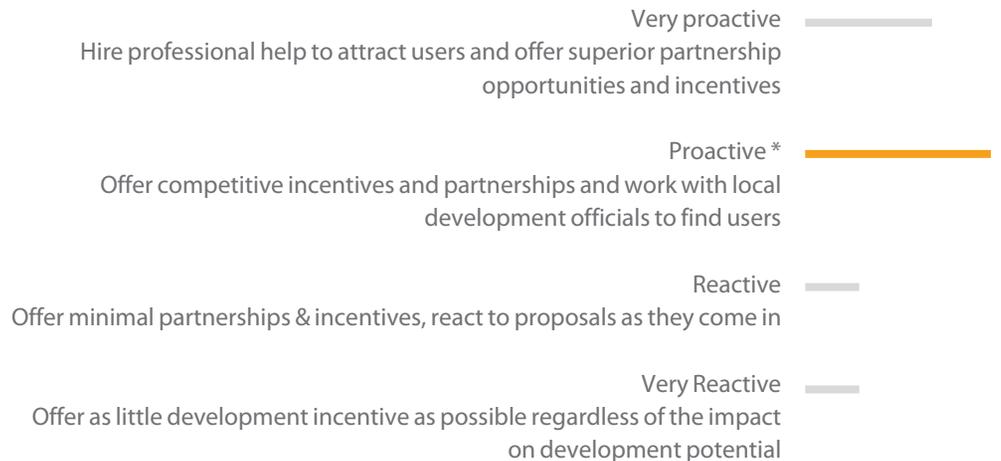
B. WHAT IS THE MOST APPROPRIATE USE FOR HORIZONS (RANK 1-4)?



C. HOW PATIENT SHOULD THE CITY BE TO ATTRACT THE DESIRED USE ?



D. HOW PROACTIVE SHOULD THE CITY BE TO PURSUE THESE INITIATIVES THROUGH POLICY CHANGES AND PUBLIC PRIVATE PARTNERSHIPS TO ACHIEVE THE GOALS LISTED ABOVE (CIRCLE ONE)?



Summary

The community reached consensus that development in Horizons should create a strong future tax base and jobs in Riverside. There was debate about the financial impact of different types of development. All three use scenarios—Jobs and Innovation, Tourism, Recreation and Openspace, and Regional Commercial—had substantial support, but the Jobs and innovation scenario received the most attention. Ultimately the stakeholders agreed that any or all of the scenarios would satisfy their vision for the future of Horizons.

Although the community wants to be patient and prudent to attract appropriate development in Horizons, they also want to be proactive about seeking out developers and offering incentives to those who align with the community vision. City staff and elected officials will need to balance the urgency of getting development into Horizons with the community's vision for the area.



In the third and final community meeting, the public prioritized projects and policies for implementation. Attendees were given beans and asked to invest their limited resources in the implementation projects of their choice. The results of the exercise are shown on the following page.



Economic

EC01	Create a pilot, highly sustainable building project in south downtown	19
EC02	Create a city run business incubator to help bring new business in Riverside and to educate small business owners about best practices (in south downtown)	33
EC03	Compare new housing developments with existing housing stock to ensure a diversity in type and price of homes in Riverside	7
EC04	Develop an ordinance that requires all new, public or publicly funded projects to achieve community sustainability goals	10
EC05	Work with development partners to create a pilot project in Horizons	57
EC06	Create a native plant nursery in Horizons	14
TOTAL		140*

* Total numbers of beans collected
Length of colored line under strategy depicts top three choices

Social

SO01	Create a community garden	12
SO02	Revise the UDO to allow for small urban farming operations in residential and commercial zoning classes	18
SO03	Educate the community on preventative care and the benefits of an active lifestyle	4
SO04	Hold an annual healthy living event in Riverside	8
SO05	Introduce safe routes to school program/walk to school program	5
SO06	Partner with a local higher education institution to offer continuing education courses in Riverside, or promote off-site classes to Riverside residents and business owners	10
SO07	Incorporate public art into new developments, streetscapes, and other public areas	4
SO08	Build a community event center	6
SO09	Build a facility that celebrates the culture and history of Riverside	3
TOTAL		70*

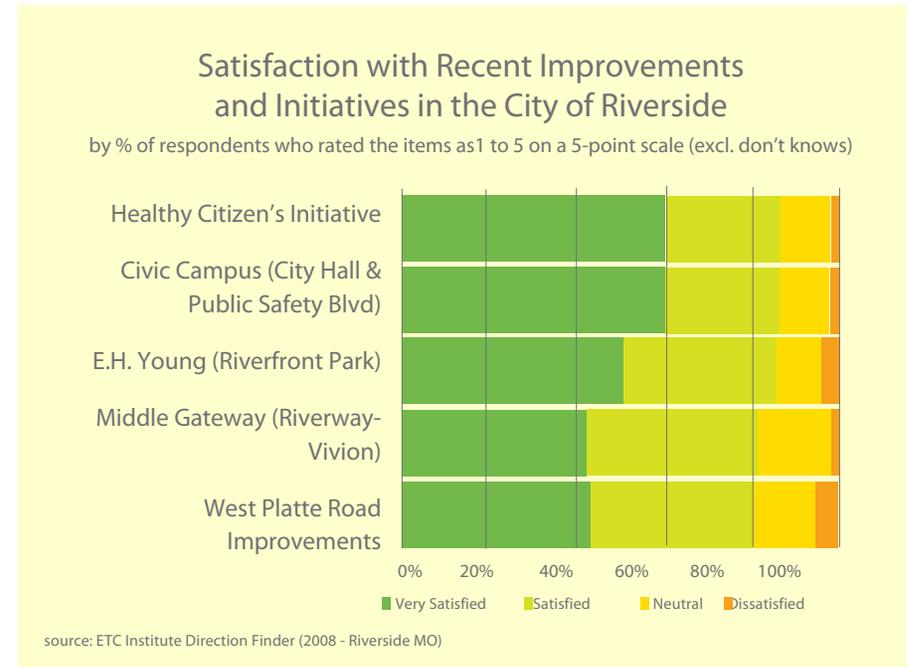
Environmental

EN01	Revise Landscape Material Standards to include native, low maintenance species that maximize benefits to wildlife	14
EN02	Restore Line Creek	12
EN03	Complete an approximate carbon inventory of communitywide emissions	0
EN04	Reduce the use of fossil fuels and foreign oil through transportation initiatives and energy efficiency	3
EN05	Incorporate stormwater infiltration and storage into street design standards and building guidelines	10
EN06	Work with KCP&L to institute a smart grid in Riverside	3
EN07	Explore opportunities for renewable generation systems in Riverside	8
EN08	Set up a weatherization program in Riverside	6
EN09	Revise parking regulations in the UDO to reduce the amount of required parking	3
EN10	Complete trail system and promote as primary mode of transportation	10
TOTAL		69*

Community Survey

A citizen and business survey administered by ETC Institute in 2008 showed that the City's improvements were well received by the public. In addition, most other areas saw an increase in public support from the 2006 survey, and nearly every surveyed category ranks high when compared to other municipalities in the metro. Riverside's residents and business owners are happy with the City's progress over the last four years, and Riverside has proven itself as a place where residents and business owners enjoy excellent quality of life, feel safe, and are served effectively by the City.

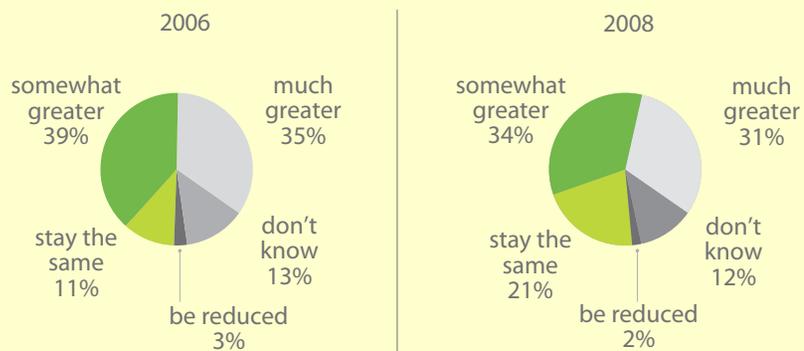
The feedback and consensus illustrated in the survey has been incorporated into the Plan Update. A few key points are shown here.



Over 80% of residents are satisfied with recent City initiatives and projects

How do you think the City's efforts to promote economic development in the community should change over the next five years?

by % of respondents

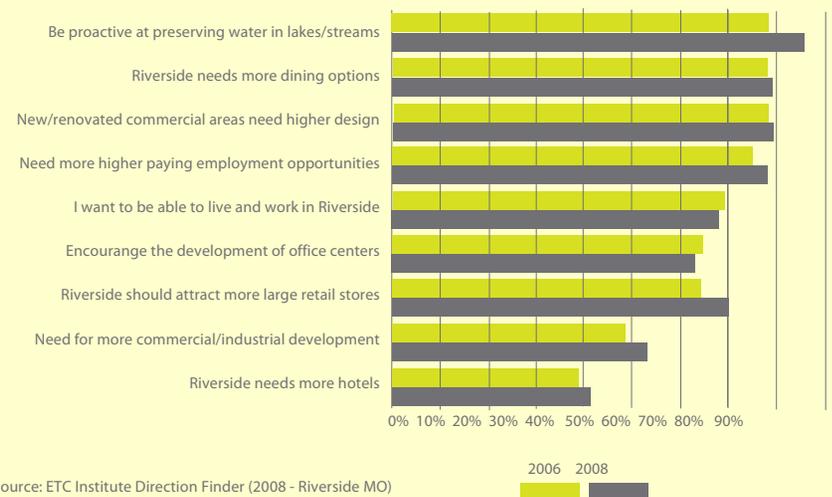


source: ETC Institute Direction Finder (2008 - Riverside MO)

65% of citizens believe the City should be doing more to promote economic development in Riverside

Level of Agreement on Various Issues - 2008 vs 2006

by % of respondents who rated the items as a 4 or 5 on a 5-point scale



source: ETC Institute Direction Finder (2008 - Riverside MO)

Preservation of lakes and streams was the number one area of agreement. Additional high quality development and higher paying jobs compete for second most important.



Stakeholder Interviews

The planning team conducted 20 individual stakeholder interviews in order to reach a broad cross section of the population and get specific feedback on the City's future. Interviewees included students from Park Hill South High School, Riverside business owners, political leaders and local land owners and developers. These interviews allowed the planning team to understand why community leaders have started businesses and remained involved in the community and what Riverside's future residents would like to see.

Summary

Nearly all of those interviewed agreed that Riverside is an exceptional place to do business or raise a family. City services are some of the best in the region and developers were happy with their experiences working with City staff. However, there were also some constructive pieces of criticism that are important to consider as the City moves forward.

Keeping the review and permitting process as streamlined as possible will be important to continued economic development. Also, as the population increases it is important to maintain the quality of City services. Over and over we heard that for future development to be feasible, Riverside needs to attract "rooftops, rooftops, rooftops." This would give future and current employees an opportunity to live and work in Riverside. Finally the large percentage of home renters, as compared to home owners, was seen as a hurdle requiring continued attention. Although the renter-owner ratio should be leveled, the approach should not diminish the inclusive character and diverse housing options in Riverside.

"I wouldn't own property in Riverside if I didn't believe in this town."

Riverside Citizen

Precedent Cities/Features

Interviewees were asked whether they have seen things in other cities that they would like to see in Riverside.

Some of the places they mentioned were:

1. San Antonio, Texas Riverwalk
2. Naperville, Illinois (downtown)
3. New Town, St. Louis
4. Freight House Restaurants, Kansas City, MO
5. Austin, Texas (Keep Austin Weird campaign gives the residents something to be proud of)
6. Luminaries at Christmas time
7. North Kansas City (high speed internet)
8. Mason City, Iowa



Future Residents: Future Riverside

As part of the public involvement process the planning team enlisted feedback from a classroom of high school students at Park Hill South as well as a small group of high school aged Riverside residents. The following is a summary of what they said the City of the future might look like.

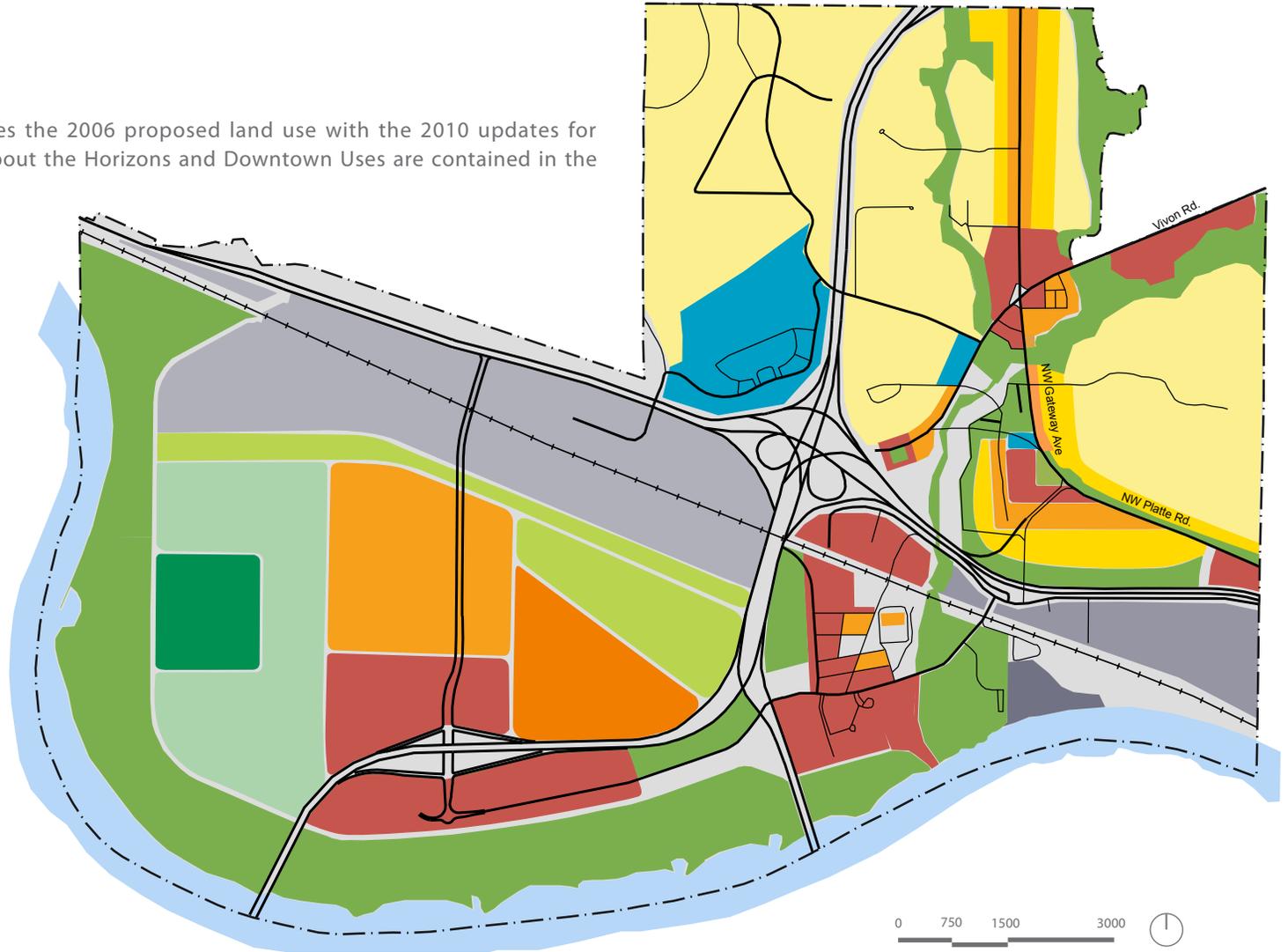
The city of the future is at its core “green.” The students envision living in single family homes with front porches, alleyways and modern amenities and with “real landscaping,” not turf grass. Others want to live in townhomes or more urban areas that are well designed and maintained. They want to be able to walk everywhere, but they would have a car for longer travel or special trips. They predict that those cars will probably be hybrid, fuel cell, biofuel or electric. The students hope there will be other transportation systems available (trains, buses, etc.), and it is important that these options be convenient. The students want to live in a place that has the same small town feel as Riverside but with modern design and technological conveniences. They want access to nature and open spaces, so their kids can play in the woods like they did growing up. The students predict that highways will not come through cities, or if they do they will not be so wide and uninviting. They want schools that are in neighborhoods and have eco-curriculum and healthy

living education. Being in a city with a college is attractive to these students because these places are usually vibrant and creative and have inexpensive local merchants and restaurants. They predict alternative energy sources like wind turbines and solar panels will be everywhere. The students envision that the city of the future will be affordable for everyone and will have many entertainment and cultural opportunities.



Future Land Use

The Future Land Use map combines the 2006 proposed land use with the 2010 updates for Horizons and Downtown. Details about the Horizons and Downtown Uses are contained in the respective sections of this document.



LEGEND

- | | | | | | |
|---|--------------------------------|---|---------------------------------|---|----------------------------|
|  | COMMERCIAL |  | OPEN SPACE |  | LOW DENSITY RESIDENTIAL |
|  | MIXED USE |  | LARGE INDUSTRIAL / DISTRIBUTION |  | MEDIUM DENSITY RESIDENTIAL |
|  | HORIZONS DESTINATION OFFICE |  | LIGHT INDUSTRIAL |  | MISSOURI RIVER |
|  | HORIZONS EXPANSION |  | HORIZONS INDUSTRY & INNOVATION |  | CITY BOUNDARY |
|  | HORIZONS NURSERY |  | CIVIC | | |
|  | HORIZONS RECREATION / GREENWAY | | | | |



SECTION ONE

Sustainability



Sustainability

It is becoming clear that embracing sustainable thinking allows cities to attract the brightest new talent, the most resilient businesses, and the most engaged families and residents. Riverside is in a unique position to become a hub of green thinking and grow smartly into the future.

Riverside made a commitment in the 2006 plan to make sustainable decisions and the Plan included recommendations for improving efficiency, protecting open space, rivers and streams, and creating walkable, communal neighborhoods. Since then there have been many community initiatives that have furthered the sustainability goals and increased the community's support of sustainable thinking. The Plan Update is intended to take a deeper and more analytical look at the opportunities for economic, social, and environmental sustainability.

It is important to note that sustainability should be a continuing consideration throughout city operations. Recommendations in the Sustainability section of the Plan Update will impact many of the 2006 plan components including: Downtown and Horizons development, New Built Environment, New Density, Green Networks, Stormwater Management, Transportation Network, Housing, Incentives, and Institutional and Cultural Development.

EXECUTIVE SUMMARY

The 2010 planning process revealed a strong interest in advancing issues of sustainability beyond the 2006 plan. The goal of the Plan Update is to design a strategy for improving quality of life, ensuring long-term fiscal health, and stewarding Riverside's natural resources. The strategy needs to be 'doable' with common sense policy recommendations and strong precedents for potential projects.

The sustainability section is organized into three categories as follows:



ECONOMY



ENVIRONMENT



SOCIAL SYSTEMS

Each topic has a goal, strategies to meet the goal, and indicators to measure progress. The goal statements are a direct reflection of community feedback and many of the strategies were also developed during the community process. Although the priority strategies are included in the Plan Update document, a more extensive and long-term list is included in the Implementation Workbook. Indicators have been identified to allow the City to evaluate whether programs and policies are working and tailor initiatives to maximize their impact. This feedback is important because it allows the City to be flexible and target resources toward the most effective strategies.

What We Heard



What is a Sustainable City?

SUSTAINABLE CITIES MEET THE NEEDS OF CURRENT RESIDENTS WITHOUT HARMING FUTURE GENERATIONS. TRADITIONALLY, CITIES MADE DECISIONS BASED ON THE BOTTOM LINE: DOES THE PROJECT MAKE FINANCIAL SENSE? SUSTAINABLE CITIES ASK WHETHER DECISIONS BALANCE SOCIAL, ENVIRONMENTAL, AND ECONOMIC NEEDS. THIS IS THE TRIPLE BOTTOM LINE.

The community looked at sustainability from three distinct points of view: economy and fiscal health, quality of life and healthy lifestyles, and protecting natural systems.

In public meetings, residents consistently rated the economy as the highest priority, and given the current national economic climate that is not a surprise. Stakeholders are proud of the existing businesses in Riverside; many business owners are “local” people who have been in Riverside for generations and are invested in the community. The local nature of business strengthens the economy and investment in the city. Key concerns include diversifying the local economy, creating jobs, and ensuring long-term city fiscal health.

The community survey and ongoing dialogue around social considerations for the Plan Update revealed that Riverside residents feel they have a good quality of life. They have access to parks and opens pace, and the City provides great public services. Moving forward, residents want to be sure that quality of life is maintained and enhanced as the population grows. They want the city to be inclusive and balanced in age and income and to promote a healthy way of life.

Natural landscape is also important to Riverside stakeholders. Local developers have acknowledged that access to natural amenities increases purchase price, and residents cherish natural spaces for their children to learn and grow. As the name indicates, the Missouri River watershed that travels through Riverside is an important amenity to be preserved and restored. Stakeholders are also adamant about reducing the amount of waste produced in Riverside. Overall, Riverside residents enjoy the beauty of their natural surroundings and have respect for the character those environments provide. This chapter and the recommendations herein are based on the excitement we heard from the community in support of a sustainable future in Riverside.

Priority Categories

Each of the three main topic areas (economy, social, environment) has a number of subtopics that help organize the goals and recommendations. During the community process some of these subtopics were identified as clear priorities: economic development, health, community, education, and natural systems. Each of the five subtopics are identified graphically with an asterisks as a priority in the body of the section. It is also important to note that over time these priorities may shift, and the City will need to keep its pulse on the community thoughts as the goals are reached.

Analysis

In order to ensure sustainability was discussed as an integrated part of community operations, the planning team looked first at traditional areas of planning and how they could be aligned and enhanced to facilitate a more sustainable future. Housing, transportation, infrastructure, natural systems and open space, as well as economic development, were all considerations and topics of discussion during the community meetings.

Part of what makes sustainable communities so attractive and efficient is that synergies between systems are considered. Housing is not seen as separate from infrastructure, and land use and transportation are intrinsically linked. This requires City departments to collaborate, but can save municipalities valuable tax payer resources in efficiencies and decreased maintenance. The planning team looked holistically at City operations and programming and was able to identify synergistic strategies to facilitate a sustainable future.

The team was able to simultaneously analyze opportunities for Riverside’s economic and physical infrastructure as well as the social amenities and programs that make Riverside a great place to live, work, and learn. Considerations are organized along the three segments of the triple bottom line-economy, social systems, and environment-while many of the recommendations for these topics overlap.



Community feedback resulted in a series of goal statements for each subtopic. The team then analyzed each area and created strategies for achieving the community’s goal.

\$ Economy

Economy refers to the creation and exchange of goods and service. Free enterprise harnesses creativity and innovation and coordinates human activity for mutual gain. This section highlights initiatives and target areas that have the potential to boost communal prosperity and ensure long-term fiscal health.

ECONOMIC DEVELOPMENT*

Goal

Ensure long-term fiscal health through growth that promotes the community vision

Historically, the importance of cities stemmed from their access to natural capital and transportation networks. Production thrived in cities because access to transportation networks meant that goods could be cheaply shipped to market. Models for economic development grew around these businesses and sought to attract firms by lowering the costs of doing business. Many cities still give tax breaks and subsidies to entice firms to locate in their jurisdictions.

Currently these old rules are shifting. Today creativity is emerging as the driving force in city development. The most important tool for economic development is attracting skilled individuals and businesses that engage the creativity of their workers. Increasingly, people move to a city first and then look for a job. Access to skilled workers is the most important factor influencing where firms locate. Improving urban amenities, such as trails, parks, transportation, schools, and community engagement is an effective strategy for attracting and retaining skilled residents.

In addition to public amenities, Riverside should target businesses that provide everyday uses, including dry cleaners, coffee shops, nail salons, and pharmacies. These businesses provide a real public benefit for existing residents, and can help make Riverside more attractive for potential residents.





The Creative Factory

MANUFACTURING IS UNDERGOING A TRANSFORMATION IN THIS COUNTY. EMPLOYEES ARE INCREASINGLY WORKING WITH SOFTWARE MODELS INSTEAD OF THE MACHINES THEMSELVES. FIRMS SEEK WORKERS WITH CRITICAL THINKING SKILLS. FOR EXAMPLE, THE SONY ELECTRONICS PLANT IN THE PITTSBURGH REGION TESTS ENTRY LEVEL WORKERS FOR PROBLEM SOLVING SKILLS AND THE ABILITY TO WORK IN GROUPS. TOYOTA PUSHES ALL OF ITS EMPLOYEES TO CONTRIBUTE TO THEIR CREATIVITY AND ALLOWS EVEN THE LOWEST LEVEL WORKER TO STOP THE LINE IF THERE IS A WAY TO IMPROVE. LEADING MANUFACTURERS AROUND THE WORLD EXPECT INNOVATION TO COME FROM EVERY EMPLOYEE.

Target Industries

Firms are more likely to be successful if they can tie into existing supply chains, the knowledge base, and business relationships in the area. The following industries are highly concentrated and/or growing in Riverside:

- Manufacturing
- Building materials & supplies
- Light industry & wholesale
- Support services for business and industry
- Amusement, gambling, and recreation industries
- Real estate
- Educational services
- Healthcare & social assistance

Investments in these industries are most likely to be successful and increase employment. For example, Riverside may find it advantageous to enter into a public/private partnership with a cutting-edge green manufacturing facility. This type of firm could tie into the existing supply chains and labor pool. Manufacturing is a transforming industry; employment in this industry is shrinking as traditional production processes are moving offshore. To be successful, investments need to focus on generating innovation. A green manufacturing facility could engage the creativity of its workers, giving it a competitive advantage.

Public Private Partnerships

Public private partnerships are an important component of continuing Riverside's evolution. When entering public/private partnerships, it is important to independently determine that the project requires public funds to become financially feasible. Conducting a pro forma analysis can determine the need for public financing. Giving public subsidies to projects that would have happened anyway wastes precious resources. Secondly, it is important to be reasonably sure that the employment generated by the project justifies the amount of public investment.

Attracting New Firms

Riverside can focus its firm attraction efforts by advertising its strengths. For example, Riverside's tax structure provides a business friendly climate. Another strength is that Riverside is home to an emerging health care industry. The health care industry has grown in Riverside in recent years and demographics point to continued growth for these services. Advertising that this industry is growing could attract more firms to the area.

A fourth strategy for attracting firms and creating jobs in Riverside is to increase the skills of Riverside workers through education and job training programs. Business leaders can help identify important skills and Riverside can form partnerships with local colleges and universities to design programs that teach these skills. It is recommended that Riverside facilitate these relationships rather than attempt to lead a job training program. The goal is to draw firms to the high skill set of Riverside workers.

Example Strategies

- Improve urban amenities to retain and attract highly skilled residents
- Pursue targeted public/private partnerships
- Market/advertise strengths
- Facilitate relationships and training programs between local businesses and colleges

LOCAL AND SUSTAINABLE GOODS

Goal

Encourage entrepreneurship and a local/regional economy

Moving goods from production to market can represent a significant cost and a negative environmental impact. It is not just durable goods, the average meal travels 1,500 miles from farm to fork. When Riverside residents buy something that was made by an outside company, dollars are leave the local economy. Riverside has an opportunity to rethink the material flows through its economy. Local stores carrying local items can increase the money that stays in the community and create or retain jobs.

Increasing awareness is one strategy for promoting the consumption of local goods. Riverside could launch a 'buy local' campaign and a consistent label design for locally produced goods. This strategy would call attention to local goods, increase consumer information, and educate businesses and residents on the benefits of buying local.

Creating a sustainable procurement guideline is another strategy for increasing the amount of local and sustainable goods in the economy. Sustainable procurement guidelines describe a methodology for selecting the most sustainable goods, and a list of products that passes this evaluation. The City government can take the lead and create procurement guidelines aimed at using local and

sustainable goods for its day-to-day operations. These guidelines can be made available for other businesses.

A business incubator was another popular idea among stakeholders and could provide an opportunity for educating business owners about how to build local partnerships. Finally, the City can give preference to developments that promote local and sustainable businesses or products.

Example Strategies

- Sponsor a 'Buy Local' campaign to educate local businesses and residents on the benefits of buying local and sustainable goods
- Create procurement guidelines for the City that include locally manufactured and sustainable products
- Give preference to developments that promote local and sustainable businesses or products



Small businesses with locally designed and manufactured goods like these are appropriate in Riverside.



AFFORDABILITY

Goal

Continue to be an affordable place for a diverse population

Riverside is an affordable place to live. There are many affordable housing options and a broad range of services available for a variety of price points. Moving forward it will be important to ensure that there are options for people of all incomes. By creating the right mix of high end, moderately priced, and affordable new rental and for sale units, Riverside can remain affordable as it grows. One item worth reviewing is the current ban on new apartment housing. That ban should be revisited and potentially revised. One possible revision would allow renovations on new construction as a replacement for the existing aging stock. In this example the overall number of units would not increase but the quality of rental housing units would be allowed to improve.

Affordable Housing

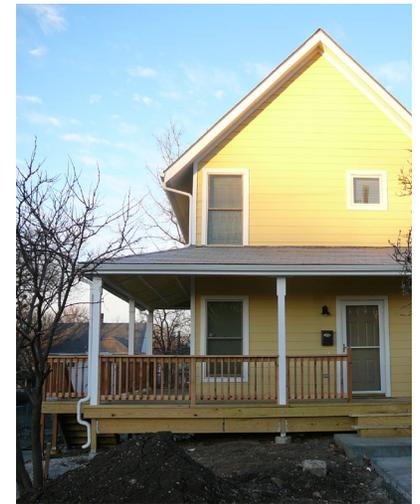
Creative financing options are an effective strategy for the provision of affordable housing. The federal low income housing tax credit program gives developers an incentive to include affordable housing in their developments. This program has proven extremely effective. The City can also make below market interest rate loans available to developers who include affordable housing units in their developments.

Riverside can also form partnerships with non-profit development corporations to build more affordable housing. For example, Riverside might make city-owned land available to non-profits at below market rate prices, Northland Neighborhoods, Inc. (nni.org) is a potential partner.

Finally, Riverside should ensure that the supply of affordable housing adhere to quality standards. This is in the interest of both the people living in the housing and the surrounding neighborhoods. The City should avoid concentrating low income units in one location.

Example Strategies

- Pursue creative financing options to help develop affordable housing
- Set up an assistance and education program to help new residents and new business employees find affordable homes in Riverside
- Make surplus city-owned land available to non-profit housing organizations at below-market prices for development of high quality affordable housing
- Create a city policy that requires low income and affordable housing units to adhere to quality standards
- Revisit the apartment ban



Quality housing needs to be provided at a variety of price points.

BUILT ENVIRONMENT

Goal

Create policy and design standards that ensure Riverside's investment in the built environment is durable and sustainable over the long-term

The built environment plays a major role in the local economy and in the perception of the City. Promoting high quality green building can boost worker productivity (even small efficiency gains from a workforce translate into real financial impacts) and give Riverside firms a competitive advantage.

Construction is a major industry and provides jobs in the local economy. Nationally, this industry is moving toward green design. Regulations and incentives can spur innovation and ensure local firms remain competitive in this transforming industry. The City can take the lead and pass an ordinance that requires public and publicly funded projects to achieve Green Building certification. The built environment represents a major investment in private and public money. It is in everyone's interest to ensure this investment is durable and can stand the test of time.

This home was retrofitted to be energy efficient and serves as a model for the surrounding community in North Charleston, South Carolina.

Example Strategies

- Develop an ordinance that requires all public or publicly funded projects achieve green building certification
- Create green building guidelines for new development and educate developers on local, state and federal incentives
- Attract or build a pilot, highly sustainable building project



PRECEDENT:

Greensburg

GREENSBURG, KANSAS PASSED THE NATION'S FIRST LEED™ PLATINUM GREEN BUILDING RESOLUTION ON DECEMBER 17, 2007, REQUIRING ALL PUBLIC BUILDINGS TO BE BUILT TO THE U.S. GREEN BUILDING COUNCIL'S HIGHEST RATING. SINCE THEN, THE CITY HAS BUILT THE 547 ART CENTER, A NEW CITY HALL, THE NEW GREENSBURG SCHOOL, AND A BUSINESS INCUBATOR. THE COUNTY COURTHOUSE WAS ALSO RENOVATED AND RECEIVED LEED CERTIFICATION. THE PRIVATE SECTOR HAS FOLLOWED WITH A NEW LEED PLATINUM JOHN DEERE DEALERSHIP, A CERTIFIED GREEN HOSPITAL, AND A NUMBER OF GREEN HOUSING DEVELOPMENTS.



Social Systems

Social systems include the aspects of community and culture that enrich our lives and allow us to be healthy, happy, and productive. As a society, there is a growing awareness of the importance of social activities in creating strong communities. This portion of the Plan highlights a series of topic areas and initiatives that can further build on the neighborliness and physical health that Riverside residents hold dear.

HEALTH *

Goal

Promote an active, healthy lifestyle for Riverside residents

Riverside residents identified health as a priority for the Plan Update and the City has a tradition of progressive public health programs like the Healthy Citizen Initiative. The Healthy Citizen Initiative has about 600 participants and has likely dramatically improved the health and well-being of many residents while reducing health care expenses.

To achieve the health goal, the community will need to continue to improve exercise opportunities, access to healthy food choices, and access to natural amenities in the area. Promoting healthy diets and exercise is a priority of the community, and strategies for increasing activity and access to fresh food are compatible with many other plan recommendations. For example, building dense, walkable neighborhoods will boost passive exercise by increasing the prevalence of walking as a form of daily transportation. The local and sustainable goods strategy will increase access to locally grown fruits and vegetables, and the education strategies include plans for life skill classes including cooking healthy foods.

Example Strategies

- Create a community garden
- Hold an annual healthy living event in Riverside: could include a walk/run on the City trail system
- Partner with the Greater Kansas City Health Foundation to identify projects and events that are appropriate for Riverside



Holding healthy living events or creating community gardens are both ways to increase the health and wellbeing of Riverside residents.

DIVERSITY

Goal

Welcome a balance of age and income groups

Riverside's population is becoming older. The portion of the population 65 and older is growing, and the 0-15 age group is shrinking. The working age proportion of the population is holding steady. Increasing amenities for Riverside's retirement and elderly population will be important to ensure the current population is well served. To be a community where people can "age in place" involves ensuring adequate senior housing, increasing ADA accessibility, and transportation options for those who can no longer drive.

However, the Goal for Riverside is to move toward an appropriate balance of age and income. Residents enjoy the existing diversity in the community and there is continued room for improvement. Currently Riverside's median income is below the regional average and the population is aging. The owner/renter ratio is also out of balance. While there are many strategies that could help equalize diversity, such as increasing home ownership opportunities, the most particular need is in continuing to attract younger residents as the existing population ages. Young professionals are drawn to communities rich in amenities. This demographic will balance Riverside's age diversity and move the median income closer to the Metro average. This strategy is also consistent with the economic development strategies discussed in economy/economic development. Increasing home ownership opportunities will also help to further balance the renter/owner ratio.

Example Strategies

- Create a mixture of housing types that allow residents to age-in-place
- Provide safe, public spaces for children of all ages to play, gather, and socialize
- Attract a mixture of entertainment and amenities for all ages

Both older residents (top) and younger residents (bottom) should have equal opportunities for socializing and learning.



EDUCATION *

Goal

Increase educational opportunities for residents of all ages

Riverside is located in the Park Hill School district and Riverside students attend Park Hill South High School, Line Creek Elementary School, Southeast Elementary School, and Lakeview Middle School. The school system is performing well, and all four schools have higher student/teacher ratios than the Missouri state average. Park Hill South has a higher graduation rate, higher ACT scores, and a higher percentage of graduates going to a 2 or 4 year college than the Missouri state average and all of this is being done with expenditures per student that are lower than the state average.

Riverside will continue supporting the Park Hill school district, but there is some concern that elementary and middle school students are bused out of Riverside. Young residents are split between two elementary schools making strong community relationships more difficult to establish. As Riverside grows, it should investigate building a new elementary school to help attract younger residents and to provide educational

opportunities that are within walking distance of homes and other community amenities.

From conversations with the community, it was very clear that educational opportunities should be catalyzed at every age. Nationwide lifelong learning is gaining attention and recognition for its ability to engage residents and boost community. As part of Riverside's health and economic development initiatives, the City should proactively partner with organizations that provide life skill classes and continuing education. These can include a host of adult education including job training, computer and technology training, cooking classes, and many others aimed at providing additional skills or life-learning opportunities.

Example Strategies

- Build an elementary school
- Create a partnership with an educational institution to create programs for Riverside residents and businesses



As the population of young people increases, an elementary school will become more feasible. Adult education will give Riverside residents the opportunity for life-long learning and career advancement.

COMMUNITY *

Goal

Facilitate neighborly interactions, community involvement, and celebrate Riverside's community pride

Community is a combination of democratic engagement, quality relationships, civic pride, and social well-being. Riverside residents are eager to be engaged in their democratic institutions; the public meetings were well attended and inspired constructive debate. Creating new programs to increase participation and harness the energy of the community is one strategy that will continue to enhance neighborly interactions.

The Plan Update emphasizes using urban design to facilitate community interaction and civic pride. Public spaces, such as parks, libraries, and plazas provide a space for people to gather for informal and city sponsored events. A quality built environment, or restored natural assets that reflect the values of Riverside residents can foster civic pride. These physical improvements need to be matched with programming efforts. Providing quality social amenities and services is one strategy to foster community and increase social well-being. With a little prompting and support, it is likely that many residents would be willing and able to organize ongoing community engagement programs and beautification efforts.

Example Strategies

- Rebuild a community event space possibly combined with a cultural facility
- Continue to hold and evolve annual community events that bring neighbors together
- Create a process for incorporating Public Art into new developments, streetscapes, and other public areas and incentivize public art as part of private developments
- Increase opportunities for the community to be involved in City organizations, boards, or committees

Public art (top) is a point of civic pride and conversation among residents and visitors. Riverside already holds numerous annual events, like Riverfest (bottom), that provide an opportunity for neighbors to come together in celebration.



SAFETY

Goal

Maintain Riverside as a safe place for residents and business owners as the City grows

Riverside takes issues of public safety very seriously. Riverside has one of the highest number of police officers per capita in Missouri with one officer for every 119 people. The police and fire departments have excellent response times, and, in interviews with residents and business owners, we heard that there is a high perception of safety. Strategies to decrease crime should focus on reducing the number of property crimes while maintaining the quality of police and fire services.

Example Strategies

- Facilitate “eyes on the street” through appropriate urban design guidelines and institute the principles of Crime Prevention Through Environmental Design (CPTED)
- Increase education about consumer fraud tactics and how to avoid and report these scams
- Continue to measure the crime and response rate and perception of safety to ensure safety is maintained as the city grows
- Introduce safe routes to school program/walk to school programs



87% of survey respondents said they are satisfied with police and fire services in Riverside. (Bottom) the Riverside fire department practices in a simulated rescue.



Environment

Environmental stewardship is critical to the long-term health of residents, the city's natural areas, and Riverside's impact on the planet. Stakeholders have repeatedly acknowledged the importance of conserving finite resources, preserving habitat, air quality, and water resources in Riverside. Communities that take the lead and demonstrate best practices and emerging technologies will attract like minded residents and businesses. By signing the Mayor's Climate Protection Plan and proactively taking on issues of stormwater management and waste reduction, Riverside is emerging as a regional leader in environmental sustainability.



NATURAL OPEN SPACE*

Goal

Protect and restore the city's natural areas and amenities

Riverside has a wealth of environmental assets. Residents enjoy having access to parks and tree covered areas, and the Line Creek corridor and the Missouri River provide additional natural amenities. Beyond their recreational and educational value, natural areas clean the air, filter water, control flooding, increase biodiversity, and add economic value to adjacent properties.

Communities across the country are finding new ways to protect their streams and tree canopy. Stream setback ordinances and tree protection agreements can protect intact resources while stream stabilization, stormwater best management practices, habitat restoration, and tree planting programs will reverse degradation and enhance existing networks. Taken together these protection and enhancement techniques create a strategy for nurturing Riverside's precious natural systems.

Example Strategies

- Build a wetland preserve on the wet side of the levee with access from the levee trail
- Restore Line Creek / expand stream buffer
- Plan to protect continuous habitat
- Create a conservation development zoning class
- Create an urban eco-park in downtown Riverside where residents and visitors can learn about native species and habitats

This turtle is one of many species found in Riverside, but a management plan for habitat and wildlife will ensure a balanced ecosystem and enhanced biodiversity. Riverside celebrates its dense tree canopy with an entry sign and water fountain.



AIR & CARBON

Goal

Maintain clean outdoor air quality and reduce the emission of harmful gases

Air pollution is both a local and global problem. At the local level impurities in the air from automobiles and industry are responsible for a staggering increase in rates of respiratory disease particularly among children. Globally green house gases are impacting our planet and jeopardizing future generations. It is worth mentioning that amongst the community there were a few individuals who do not agree about the impact of climate change. Regardless of position, the strategies to combat emissions (walkable developments, cleaner transportation, buying local goods, and high efficiency buildings and infrastructure) are universally embraced and contribute to the creation of a strong community.

Example Strategies

- Complete a carbon inventory of City operations and establish reduction targets
- Complete an approximate carbon inventory of community-wide emissions
- Reduce the use of fossil fuels and foreign oil through transportation and energy efficiency initiatives



WASTE

Goal

Achieve near zero waste output

Waste has a considerable influence on the environmental, social, and economic sustainability of Riverside and the Kansas City region. Pollution incurred by transporting and storing waste has a significant impact, and those living near landfills incur social costs. It is also becoming more expensive to get rid of trash. The Mid American Regional Council (MARC) predicts that “landfill closures in the region will increase transportation and hauling costs upwards of 60 percent within the next 20 years.” With this update, there was clear support for Riverside taking the opportunity to rethink how it handles waste.

Riverside is making strides toward reducing the amount of waste it produces. Since 2006, Riverside has provided free recycling services to all its residents. To date, more than 295 households (more than half of the single family homes in Riverside) are participating. In addition, large co-mingled recycling drop off bins are located on the civic campus. More than 6 tons of materials are diverted from the landfill each year through this service. Regionally, recycling programs have resulted in an estimated 25 percent reduction in waste. Riverside also provides free trash-pickup services. Ideally, that will

transition to a system that encourages recycling and not the free dumping of materials in landfills.

With many important initiatives already operating successfully in Riverside, it is recommended that Riverside strive to reach ‘zero waste’ by 2030. To reach this goal, Riverside should establish incremental milestones to accomplish over time. As a member of MARC’s solid waste district, Riverside has access to incremental targets and ongoing support.

Accomplishing the ambitious goal of having near zero waste over time means being creative about not using excess packaging and disposables in the first place. This thinking also applies to the building industry. Redevelopment projects should focus on reusing building materials and partnering with groups such as Planet Reuse to salvage materials when deconstructing old buildings.

Ripple glass has located a bin in Riverside so residents can recycle glass in addition to the standard curb side recycling provided by the City.

Example Strategies

- Increase awareness of existing waste reduction programs
- Charge fees for trash pick-ups but provide incentives for recycling – ‘Pay-as-you-throw’ programs can provide incentives for residents to reduce the amount of waste they produce
- Invest in long-term high tech and alternative waste disposal systems
- Invest in a comprehensive composting systems



WATER

Goal

Reduce runoff and manage stormwater in a way that stewards resources and creates an amenity

Riverside is at the bottom of the Line Creek Watershed and additional development in the Northland will put more pressure on Riverside's stormwater infrastructure. Riverside has already made great strides toward protecting its natural infrastructure. For example, Riverside adopted the American Public Works Association (APWA) section 5600 guidelines for storm drainage systems and facilities and the APWA Manual of Best Practices for Stormwater Management in Metropolitan Kansas City. These manuals specify application and design criteria for stormwater management, conveyance, detention, and natural stream protection. In addition, Riverside has passed stream buffer ordinances and setback requirements.

However, more can still be done to protect and celebrate Riverside's water system. Riverside has an opportunity to think holistically about the city-wide stormwater infrastructure. A comprehensive strategy for treating stormwater naturally in dense urban and more natural areas will reduce the need for heavy infrastructure and the costs associated with pumping and treating water.

Restoring Line Creek is a good example of a project that will help filter and slow water flowing through the community and create an amenity for local residents. More can also be done to handle stormwater where it falls, not just where it ends up. By extending the reach of stormwater best management practices, water quality and runoff quantity can be dramatically improved.

The cost associated with providing potable water is expected to increase. According to the United States Green Building Council, in the U.S. buildings alone account for 14% of potable water consumption. Limiting impervious surfaces and creating an environment for more green buildings will be an important part of Riverside's water conservation strategy.

Example Strategies

- Pass new street standards that incorporate best management practices for reducing runoff
- Restore Line Creek to absorb and filter storm water
- Create incentives/regulations for green buildings



On-street rain gardens (top) can be integrated into street design standards and help clean and slow storm runoff. Line Creek (bottom) should be restored so the community can use it as an amenity.

ENERGY

Goal

Reduce energy use and dependence on fossil fuel

Reducing energy use and overall dependence on fossil fuels will help the city reach the goals of the U.S. Mayor's Climate Protection Agreement signed by Riverside Mayor Kathy Rose. Knowing that buildings account for 72% of electricity consumption and 38% of total carbon emissions, buildings represent a great opportunity for Riverside to reduce fossil fuel based energy use, particularly as the rate of new development is expected to grow in the coming decades. Part of ensuring a sustainable economic and environmental future for Riverside is to conserve the energy used in residential, commercial and city buildings and to explore the opportunities to broaden Riverside's portfolio of renewable source energy.

Although buildings represent a huge opportunity to reduce the use of fossil fuels in Riverside, there are other contributors, the most prominent of which is the cars and trucks we use to maneuver through day to day activities. Discussion and recommendations for reducing the impact the transportation system has on energy use and carbon emissions will be dealt with in the Transportation section of this plan. This section will deal primarily with electricity and natural gas used for heating and cooling buildings and opportunity for improvements to the city-wide electricity infrastructure. In addition to reducing the City's cumulative energy use and carbon footprint, a comprehensive sustainable energy strategy will create jobs in Riverside and save business and home owners on their utility bills, in particular as energy costs rise in the region.

Existing Conditions

Riverside's electrical needs are served by Kansas City

Power & Light Company (KCP&L), which is a subsidiary of Great Plains Energy Incorporated. KCP&L owns and services the transmission infrastructure in Riverside and offers Riverside residents the same state approved rate as other Missouri citizens. The current rate is anywhere from 4 cents to 10 cents/kwh for residential customers. Missouri enjoys the third lowest rates in the country due to a high proportion of coal fire power (about 80%). Increasing peak demand, a growing awareness of the negative impacts of coal power, and federal regulations on carbon emissions threaten the low rates. KCP&L is currently in negotiations with state regulators to increase the price of energy by 11.5% to begin in October of 2010. Rate payers will take on the cost burden of the high carbon impact of Missouri electricity and rates could increase anywhere from 10-50% if federal regulations are passed. Individual home and business owners will either have to pay more or use less, making efficiency a necessity over the coming decade.

Energy Efficiency

Because buildings account for such a large percentage of electricity and gas use, many gains can be found from increasing end use efficiency. As energy prices increase, the benefits of efficiency improvements to building owners become more significant and incentives more attractive. In addition to City incentives for energy retrofits and new building practices, the City could implement standards that encourage or require a level of efficiency either through new building codes, or through requirements above the building code, for new development projects. Perhaps most importantly, City government should lead by example and insist that municipal buildings and

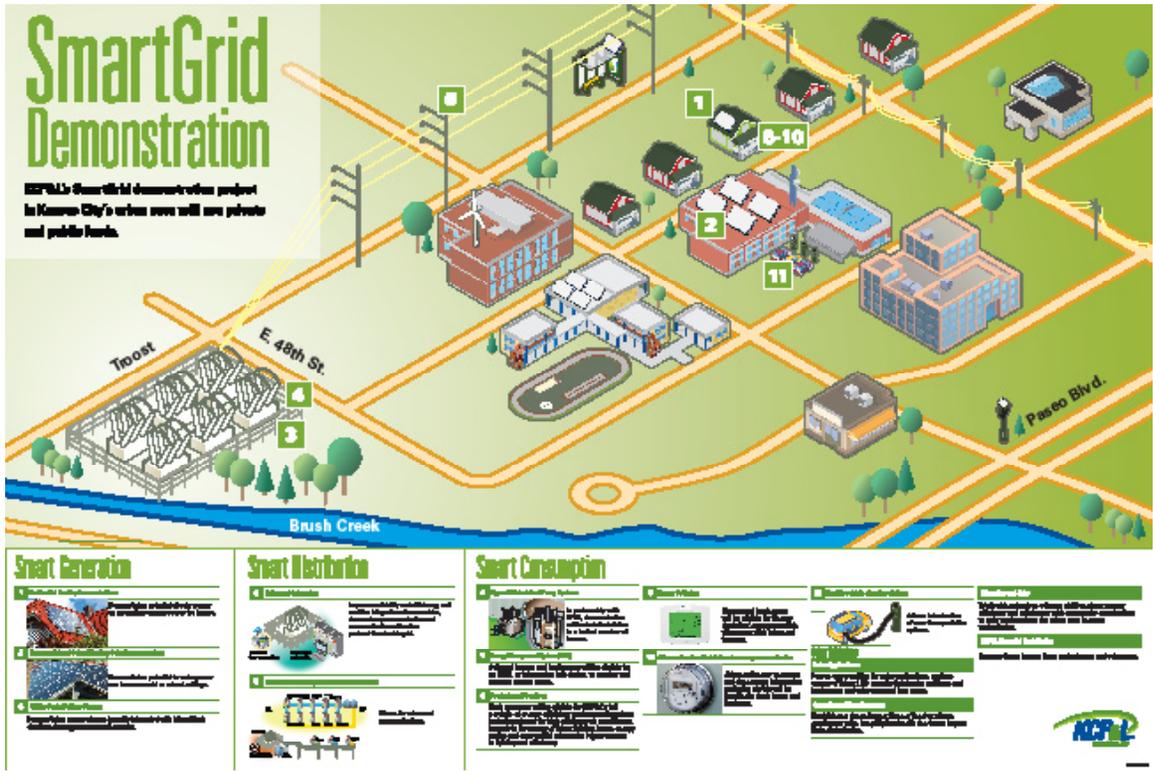
public private partnerships adhere to a high performance standard for energy efficiency.

Incentives

Power companies all over the country are faced with the reality of increasing peak demand and possible nationwide carbon regulation. KCP&L is working diligently to increase their peak load capabilities, increase the amount of renewable energy in their portfolio, and educate consumers about decreasing their own energy needs through energy efficient building practices. Locally KCP&L offers incentives to residents and business owners who implement energy efficiency measures in their homes and businesses. It is recommended that the City of Riverside educate residents about the incentives available through KCP&L programs and seek out opportunities to partner with KCP&L in order to obtain the City's energy goals.



Smart grids help utilities and home owners manage peak loads and track reductions in energy use.



KCP&L is currently working to implement a smart grid demonstration in Kansas City's urban core. This diagram can be found on their website at <http://www.kcpl.com/about/policycenter/SmartGridOverviewMap.pdf>

State and Federal incentives are rapidly evolving and are changing almost monthly. The Missouri State Energy Office and Department of Natural Resources should be consulted regularly and information distributed to residents about shifting incentive programs.

Renewable generation
 In addition to energy efficiency measures that would save individual business and homeowners on their monthly energy bills, stakeholders have consistently shown interest in developing wind or solar energy generation in Riverside. It is recommended that the City apply for the National Renewable Energy Laboratory's Technical Assistance Program. This program would allow the City to better understand the feasibility and costs of renewable energy generation. The results would also be useful if private users were interested in the performance of renewable systems within the climatic conditions present within Riverside.

Example Strategies

- Weatherization program – An example of a weatherization program would be to coordinate efforts with Bridging the Gap to orchestrate a "Green Barn Raising". This program combines community building with residential retrofits to provide efficiency improvements at a fraction of the cost
- Revise zoning code to allow for the safe installation of on-site renewable energy
- Apply to the National Renewable Energy Laboratory's TAP to explore opportunities for renewable generation systems in Riverside
- Work with KCP&L to institute a smart grid in Riverside
- Review streetlight and water and sewer pump efficiency

Covering parking lots with solar panels (top) is one creative way to generate renewable energy. Home weatherization programs reduce city-wide energy use and electricity costs (bottom).



LAND USE & TRANSPORTATION

Goal

Create a land use and transportation pattern that can be leveraged for additional development, establishes dense walkable nodes, and connects residents and visitors to key destination points

Land Use regulations control the type of uses that can occur on a parcel of land and the form of development (i.e. the shape of buildings). Current land uses in Riverside include agricultural uses (owing to the undeveloped flood plain), single family subdivisions, a relatively high concentration of multiple family structures, a number of industrial sites that take advantage of the flat land near the flood plain and the highways, and public open spaces. For the most part, however, Riverside is underdeveloped in urban or suburban terms. This creates substantial long-term opportunities for growth.

Transportation networks move people and goods from place to place, and they are a primary factor influencing the form of the city. A street grid with short blocks is the best transportation network for walkable neighborhoods because the pattern allows pedestrians to take the most direct routes. Land use regulations can reinforce this form by limiting setbacks and building widths, giving the pedestrian a human scaled environment. Mixed-use land types best allow residents to get access to neighborhood amenities without having to drive across town. Wherever feasible, appropriate uses should be encouraged to mix.

Transit and Land Use

The role transit plays will almost certainly be gaining in importance, and transit is likely to play a large role in the future of the Kansas City region. Dense mixed use developments are ideal for transit nodes, and Riverside can position itself to take advantage of future regional transit opportunities by designating appropriate land uses along key corridors.

The Kansas City Area Transit Authority bus line currently serves Riverside. There was some concern that it is under utilized and does not appropriately serve the residents who need it the most. The City should work with the KCATA to ensure appropriate service is maintained. The community should likewise be educated about the availability of existing transit options and encouraged to use them whenever possible.

“Complete streets” are another important design technique that can help maximize the investment made in road infrastructure by making them accommodate all modes of transportation, as opposed to only automobile traffic. Complete streets account for pedestrians, bicycles, vehicular transportation, and public transportation simultaneously and without giving too much preference for any one user. Future transportation infrastructure investments should follow the complete streets design ideals.

Example Strategies

- Create a mixed-use zoning district
- Revise residential lot size to allow for compact development
- Provide additional density credits for conservation easements
- Expand trail system
- Revise parking regulation in the UDO
- Reduce parking lots/ explore innovative public and private parking initiatives
- Craft a model Complete Streets section



Top: the Riverside trail system is envisioned as a primary form of transportation. Middle: complete streets are designed for vehicles, bicycles, pedestrians and mass transit. Bottom: future regional transit should be considered as Riverside develops.

SECTION TWO

Downtown



Downtown Riverside

EXECUTIVE SUMMARY

The 2006 Comprehensive Plan aimed to establish downtown Riverside as the heart of the community. It called for creating a downtown corridor and a complimentary downtown neighborhood. The recommendations contained a set of redevelopment guidelines to improve downtown. These included creating the right mix of uses, enhancing the downtown streetscape and landscaping, creating pedestrian linkages to the regional trail network and to local neighborhoods, and rules for the placement and design of buildings. In addition, the plan called for incorporating a variety of housing types and greenspaces. These recommendations are still relevant and applicable. This update refines the original recommendations, making them more specific and detailed, and provides significant new detail about the potential design and implementation of the new downtown Riverside.

The downtown Riverside update takes the corridor concept from the 2006 plan and focuses recommendations on three primary nodes: north, central, and south. In order to guide plan recommendations and future development, public feedback has been condensed into seven principles for south downtown. Public spaces, parking, street layout and design guidelines are also discussed. Finally, a conceptual scenario is outlined, illustrating how the guiding principles and plan recommendations could come together to shape the downtown core.



DOWNTOWN DISTRICT

What We Heard

We heard that downtown Riverside is still a clear priority and an area of special interest for the community. In public meetings, residents of Riverside voiced their vision for downtown; they want a walkable downtown, a mix of residential, retail, and office uses, and they want their downtown to have a neighborly feel. Other ideas include a business incubator as an attractive opportunity to grow and support local businesses and over the long-term, transit-oriented development along a potential rail connection. The community also wants to see downtown Riverside evolve into a signature development with a unique feature or theme that sets it apart from other city centers while remaining closely tied to the essence of Riverside. One prominent idea was to create a signature water feature that simultaneously stewards the Line Creek system, manages stormwater, provides an amenity for the community, and creates a visual and physical connection to the Missouri River.



Riverside residents share their ideas for downtown.

Analysis

The 2006 Comprehensive Plan defined downtown as the entire West Platte Road/Gateway Avenue corridor. This update identifies three nodes along this corridor: north, central, and south for special designation and further definition.

THE CORRIDOR

The Gateway/West Platte Road Corridor is a major connector of the social and economic life of the community. As such, this corridor presents an opportunity to redefine the appearance of the community. This street should be designed as a boulevard that reflects Riverside's commitment to preserving a robust tree canopy and stewarding water resources through street standards that incorporate sustainable stormwater infiltration and conveyance strategies. This signature roadway represents one of the most important public faces of the town and needs to continue to improve in appearance and ability to accommodate all modes of transportation.

NORTH NODE

The north node is located at the northern end of Gateway road in Riverside. This node is a prominent gateway into Riverside and should be designed to indicate entry into the community and represent the character of

Riverside. This area should be mixed-use with a focus on residential uses and service-oriented businesses (i.e. Attorneys, designers, or accountants). Live work units are a desirable alternative and would provide further housing diversity. In order to accomplish the desired character for this node, it is important to establish some key commercial amenities to support the existing and future residents within a walkable distance.

Coffee shops or convenience stores for everyday incidentals would be ideal in this node. There is also an opportunity here to give special treatment to the streetscape in order to create a real entry into Riverside and to help slow traffic as vehicles enter the community.

CENTRAL NODE

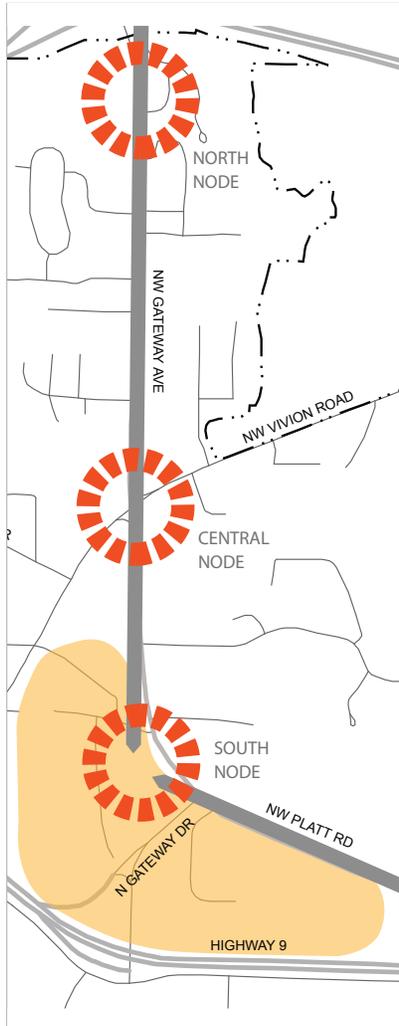
The central node is located at the intersection of Vivion and Gateway and has been traditionally thought of as "downtown" Riverside. Due to the existing pattern of development, this node tends to have larger building setbacks that facilitate more auto-oriented uses. It is important to create a comfortable, safe and pleasant environment for pedestrians. Properly screening surface parking and (over time) decreasing setbacks are also important to the area. This node is at the convergence of many elements: the trail network, existing sidewalk traffic, line creek and the possibility of a future light-rail line, and the important Vivion / Gateway intersection. The interaction of these different elements needs to

be carefully considered so as not to fragment the flow of pedestrians, water, or active transportation. New development projects and enhancements to existing infrastructure need to be evaluated for their impact on every other network.

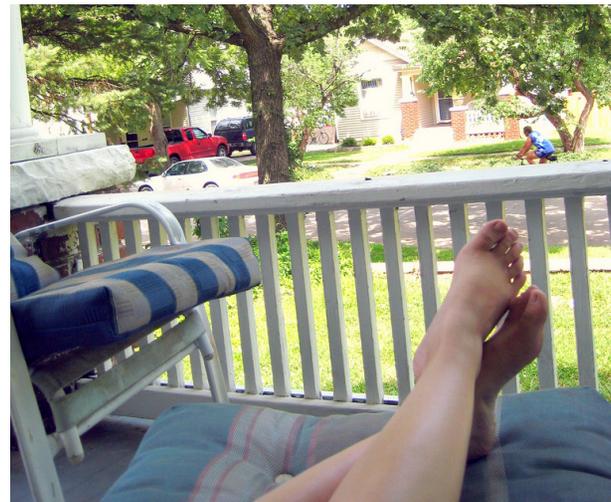
SOUTH NODE

The south node provides the greatest opportunity to define the heart of Riverside and is the first priority of the citizens. This potentially exciting mixed-use area is imagined as a unique urban neighborhood. South downtown stood out to the community as a great place to imagine a vibrant and connected city center.

The following land use map and use guidelines were crafted to ensure that the development follows the community vision.



The north, central, and south nodes on Gateway Avenue.



Clockwise from top: In the north node in-home service oriented businesses are appropriate, in the central node larger building setbacks create areas for parking or public space, and in the south node everything from large commercial uses to single family homes create a diverse neighborhood.

Principles

These principles reflect the community's priorities for creating a quality, authentic downtown environment. These principles guided the recommendations for south downtown, and will be used for evaluating downtown development proposals. If a development meets most or all of these requirements, it should be quickly approved.

- ❑ Be a signature development emblematic of Riverside
- ❑ Support a strong local economy by welcoming local businesses
- ❑ Contain welcoming plazas and natural spaces that use stormwater as an amenity
- ❑ Mix uses to provide necessary amenities and active neighborhoods
- ❑ Connect the community by creating a central heart that is pedestrian oriented and easily accessible
- ❑ Create a lasting legacy and a model of durable, flexible, and sustainable development
- ❑ Attract regional visitors but cater to the needs of the local community

CREATING ENERGY AND ACTIVITY

Great downtowns support a wide variety of uses and it is this diversity that makes them exciting, active places.

One of the highest priorities of the community was to create a mixed-use destination in south downtown Riverside. An array of businesses that provide basic needs for the community and facilitate community interaction should be encouraged along with residential uses.

The concept for downtown is to create a vibrant, urban neighborhood. A diverse and extensive residential component will play a prominent role in ensuring the district fosters activity. Multi-family buildings and single family dwellings combined with office and retail uses will create an active area in Riverside that is unique in the region.



The combination of residential and commercial uses energizes the Crossroads Arts District in downtown Kansas City, Missouri.

BUSINESSES IN SOUTH DOWNTOWN

Businesses in downtown Riverside will help make it unique to the community and will also support all the things that make Riverside a great place to live, work, and learn.

Historically, Riverside has been supported by local business owners who are deeply involved in the community, and it is the intention of development in downtown to continue that trend. Businesses in downtown should be locally owned or operated and they should satisfy the everyday needs of Riverside residents. Some of the everyday needs that were specifically mentioned by the community, and that should be strongly encouraged into the first phases of redevelopment in downtown include a grocer, pharmacy, hair and nail salons, coffee shop, clothing stores, dry cleaners, and banks.

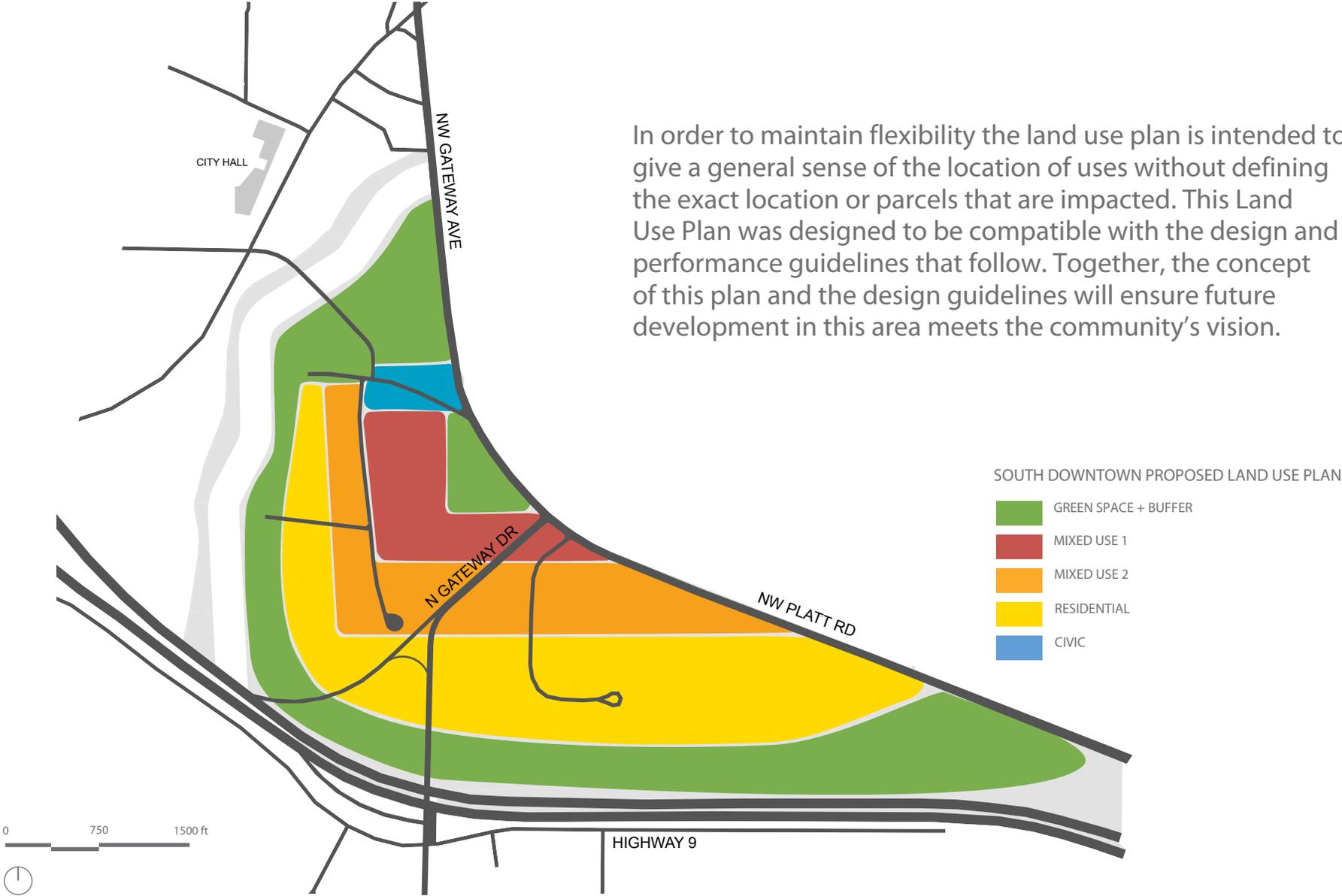
In addition to everyday needs, it is also important to locate as many activity generators as possible in downtown. A mix of restaurants, a library, resource centers, retail stores, schools, and a movie theatre will ensure downtown Riverside is a destination for both residents and visitors.



Local or locally owned businesses are ideal for creating the desired character in downtown.

Land Use

In order to maintain flexibility the land use plan is intended to give a general sense of the location of uses without defining the exact location or parcels that are impacted. This Land Use Plan was designed to be compatible with the design and performance guidelines that follow. Together, the concept of this plan and the design guidelines will ensure future development in this area meets the community's vision.





CIVIC

The land use plan designates land for a civic center in south downtown. Some possible uses here include a future elementary school, community event center, library expansion, museum, or visitors center. This zone is located in proximity to the existing City Hall and civic campus, and is accessible to the rest of Riverside. In addition to the accessible and visible location, the campus area has views of an oxbow formed from the historic flow of Line Creek. This amenity provides an opportunity for exploration and environmental education programming.



OPEN SPACE

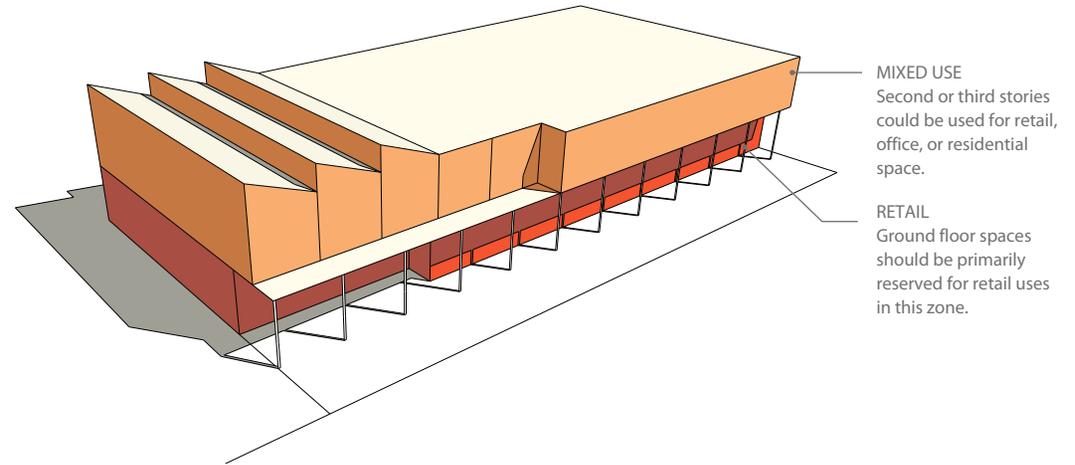
Maintaining open space is a priority, and this zone will help to ensure the inclusion of open space in Riverside's densest neighborhood. The space designed to form connections with the trail system and the natural bluffs to the north and east. This park will make Riverside's downtown unique among urban areas in the metro, and may be highly programmed. The goal is to create a very active space for community interaction. Possible components include playgrounds, a small amphitheater, seasonal outdoor markets, water features and sculptures. In addition to this signature park space, preserving a thread of continuous open space in downtown will contribute to the vision to maintain the rich natural capital in Riverside. Studies on child development have revealed that interaction with natural open spaces greatly enhances a child's ability to develop critical thinking skills and creativity. There is opportunity in south downtown to integrate natural open spaces as well as more manicured landscaping.

The downtown land use plan reserves space for civic uses and a park. These places are a valuable community asset; they provide places to gather and host community events.

MIXED USE 1

Land designated for mixed use 1 is intended for commercial uses that require a larger footprint and open floor space. These areas receive higher traffic and therefore must serve larger volumes of customers. Although some national retail chains may be appropriate, it is important to limit the number to ensure they do not compromise the ability of local businesses to thrive in downtown Riverside. In addition, national or local chains such as grocery stores, hardware or clothing retailers will be required to adhere to the design standards set forth in this plan. Businesses located adjacent to the central open space (described above) should be allowed to permeate the adjacent park for special events or promotions. Examples of appropriate uses include farmers' markets as part of a grocer, sidewalk sales or clothing drives for a clothier, or music events. The intent is to blur the lines between public and private space and create a signature place for community interaction and involvement. Office and residential uses are also permitted in this zone, but should be limited on the ground floor of primary roadways. These ground floor spaces should be primarily reserved for retail use.

COMMERCIAL MIXED USE BUILDING DIAGRAM

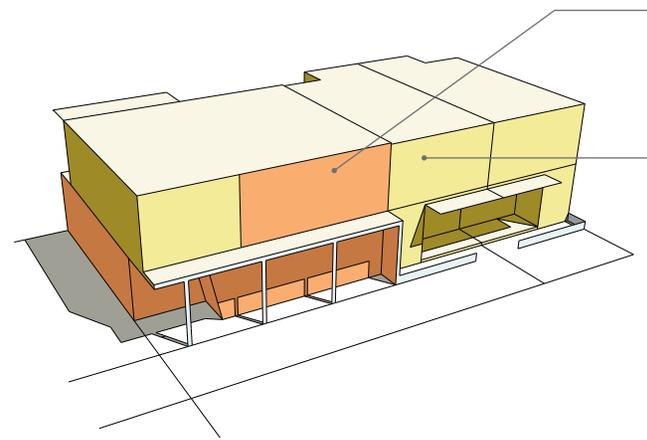


This grocery store represents the type of large retail building anticipated in the commercial land use area.

MIXED USE 2

Land designated as mixed use 2 can be developed as local retail, office, mixed-use residential or multifamily residential. Smaller retail and commercial uses are intermixed with residential uses in this highly active, 24-hour area. This zone is envisioned as the most dense, active and mixed-use area in south downtown. The building footprints are smaller than those in the commercial zones, and retail, residential, and office uses are freely mixed. Buildings in the mixed use 2 area can have commercial on the ground floor with residential or office above, or they can be stand-alone office or multifamily residential buildings.

RESIDENTIAL MIXED USE BUILDING DIAGRAM



MIXED USE

Retail uses should be located on the ground floor wherever possible, but office and residential uses are allowed on the ground floor in this zone.

RESIDENTIAL

In the mixed use zone residential uses may be located on the first, second, or third story. Multi family or single family uses are allowed.

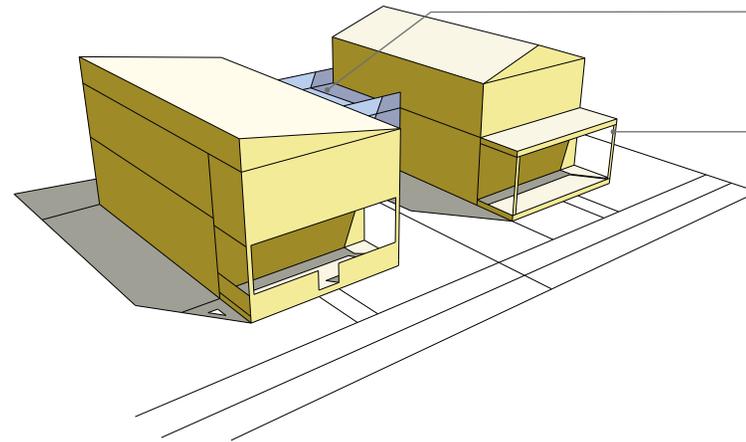


Examples of smaller scale mixed use buildings.

RESIDENTIAL

Residential land uses support a mixture of multifamily, single family attached and single family detached housing. Ideally, the densest housing types are located closest to the commercial and mixed-use zones and the single family development should be located on the outer boundaries of the site where they can capitalize on optimal green space. The concept for housing in south downtown is to establish this area as a neighborhood, where residents simultaneously enjoy the urban conveniences of downtown and “suburban” amenities of green space and safety. Housing developments should incorporate extensive common green space to give a suburban feel within the structure of downtown.

SINGLE FAMILY DETACHED



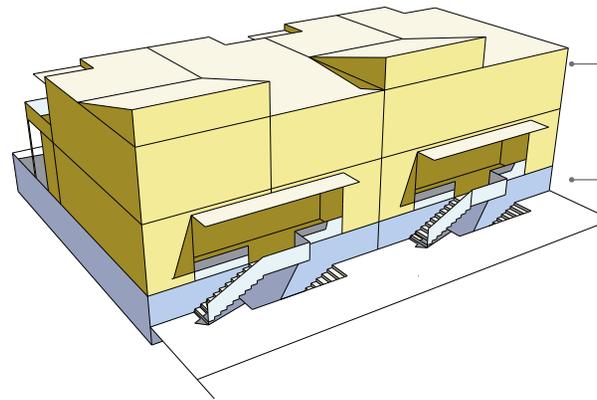
PARKING
Parking in detached units can be accommodated in attached or detached garage structures.

RESIDENTIAL
Both single family attached and detached uses are permitted in the residential zone.



Examples of single-family detached houses.

SINGLE FAMILY ATTACHED



RESIDENTIAL
Both single family attached and multifamily uses are permitted in the residential zone.

PARKING
Parking in attached units could be created with subunit structured garages.



Examples of attached single-family and multi-family buildings.

Design & Performance Guidelines

It is recommended that all building or beautification projects in downtown undergo project review before permits are issued. These guidelines will serve as the basis for the review. If a project departs dramatically from the guideline suggestions, the Planning Commission and Board of Aldermen should be alerted before a permit is issued.



Building setback helps create a consistent street front and pedestrian environment.

SETBACKS

In the natural world, edge conditions, such as the meeting of forest and prairie landscapes, foster greater activity and biodiversity. This holds true in human environments as well. The edges between building and sidewalk and sidewalk and street are active, vibrant places. Setbacks are a valuable tool for focusing as much activity into the public realm as possible, and buildings are responsible for defining the edge. When building facades on opposite sides of the street are closer to each other, the street becomes better defined as an outdoor space with identifiable edges. This is important because people feel more comfortable in well-defined spaces.

Buildings in commercial and mixed-use areas are encouraged to build to the property line. However, a five (5) foot setback is allowed if there is a functional purpose for the setback. If used properly, variations in setback can provide a more interesting pedestrian environment, and should be used for outdoor dining or shopping experiences. Additional setbacks may be allowed only if the area is designated as a public amenity, such as a park area or civic monument. Provision of additional parking is not an acceptable use of building setbacks.

Setbacks of up to twenty (20) feet are allowed in residential areas. This includes multi-family, single family attached and single family detached buildings. Appropriate uses for the setback area include gardens, natural landscaping, patios, porches or common spaces. Parking is strictly prohibited in the front setback of residential uses.

HEIGHT

Building height is an important consideration for creating a comfortable pedestrian environment and a balanced aesthetic in downtown Riverside. It is recommended that buildings in the commercial and mixed-use zone be at least two stories tall. It is understood that there may be a few one story buildings, but these should be limited and should not be located at key intersections or on corner lots. There is also an opportunity to create a number of taller buildings that serve as signatures to the development. Buildings taller than 35 feet should be carefully located so as not to block the view of downtown from oncoming traffic.

ARTICULATION

Building articulation describes the scale and design of buildings. Building facades, particularly at the street level, provide the pedestrian interface between the public and private domains. Buildings in downtown should be designed at the human scale, especially at the street level. An appropriate building scale can be created with a variety of design elements. The proportion of windows and doors, building massing and other architectural details can all help maintain the human quality and scale of buildings. It is recommended that buildings in all use categories include articulation, but it is important that articulation is functional and integrated into the building design.



Taller buildings create a more urban feel and generate activity.



This building uses a tower to create character.



This building uses articulation to create interesting spaces in the façade and enhance residential privacy.

PUBLIC SPACES

It was important to Riverside residents that the community continues to be a place where neighbors and visitors have opportunities for chance meetings and planned interaction. Public spaces are a critical component of development in south downtown and should be incorporated into new development and redevelopment. Natural amenities are also a priority to Riverside stakeholders and public spaces are a great way to celebrate the natural environment. Programmed park spaces, pocket parks, and outdoor cafés create public spaces for interaction. One prominent idea that emerged from community conversations was to incorporate water features into public spaces. This would help to create a unique urban environment that celebrates Riverside's connection to the Missouri River.

Public art is another valuable way to activate public space and facilitate community interaction. It can be an effective means of encouraging activity and fostering community identity and should be incorporated into south downtown whenever possible. Public art should be intentional and can also be used to help visitors understand the culture and heritage of Riverside. Although public art can be permanent or temporary, it should be cared for and well-maintained. Furthermore, it should not interfere with other signature designs or vehicle and pedestrian circulation. Most importantly, it should be selected and placed to enhance and complement the pedestrian character of the streetscape.

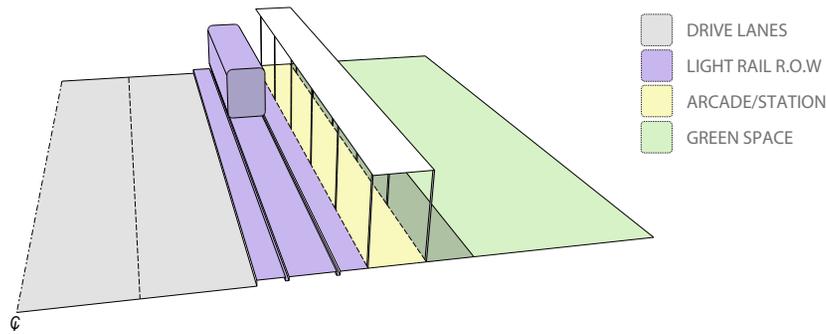


Public spaces can be programmed to include outdoor performance venues (top) public art (left) or playgrounds (right).

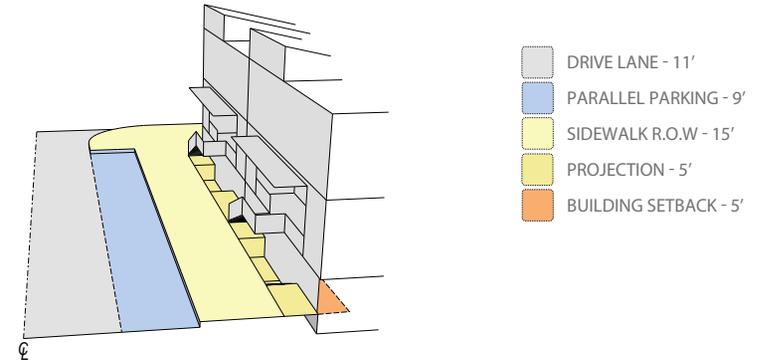
STREET TYPOLOGIES

Four types of streets are recommended for Riverside’s south downtown: Gateway/NW Platte Drive, Primary, Secondary, and Tertiary. Gateway Avenue / NW Platte Drive is seen as the main thoroughfare. The Plan does not allow parking on Gateway / NW Platte and reserves space for future rail transit. Primary street designation corresponds to mixed use 1 areas and allows perpendicular or angled on-street parking. Secondary streets are the most common and versatile streets in south downtown. They serve both mixed

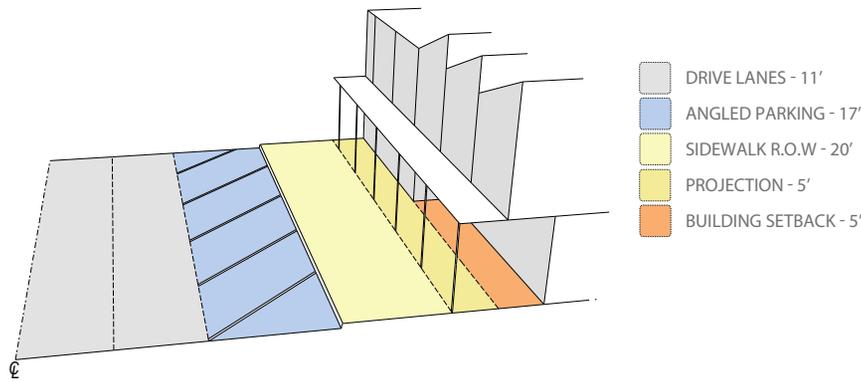
use zones and single-family attached and multifamily residential areas. They allow parallel on-street parking, and setbacks are limited to five feet. Tertiary streets serve residential areas. They allow parallel on-street parking and larger setbacks. These streets are located on the edges of south downtown and connect to the trail system. Ideally, the block structure is small enough that alleys are not necessary, however, in single family residential zones, alleys can be an excellent way to provide rear garage access. If needed, alleys are envisioned as being wide enough for only one vehicle.



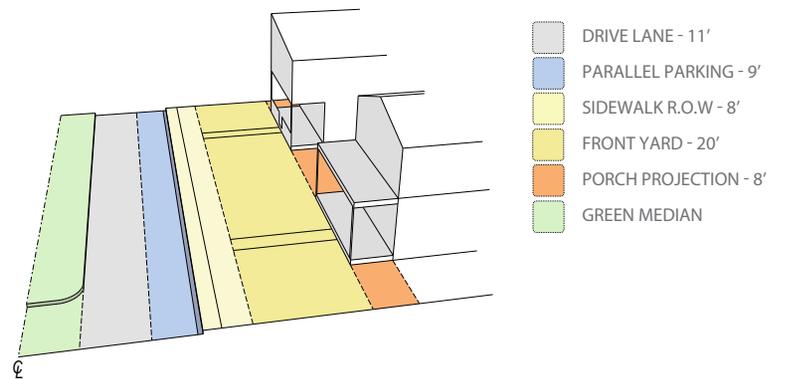
GATEWAY/WEST PLATTE



SECONDARY STREET



PRIMARY STREET

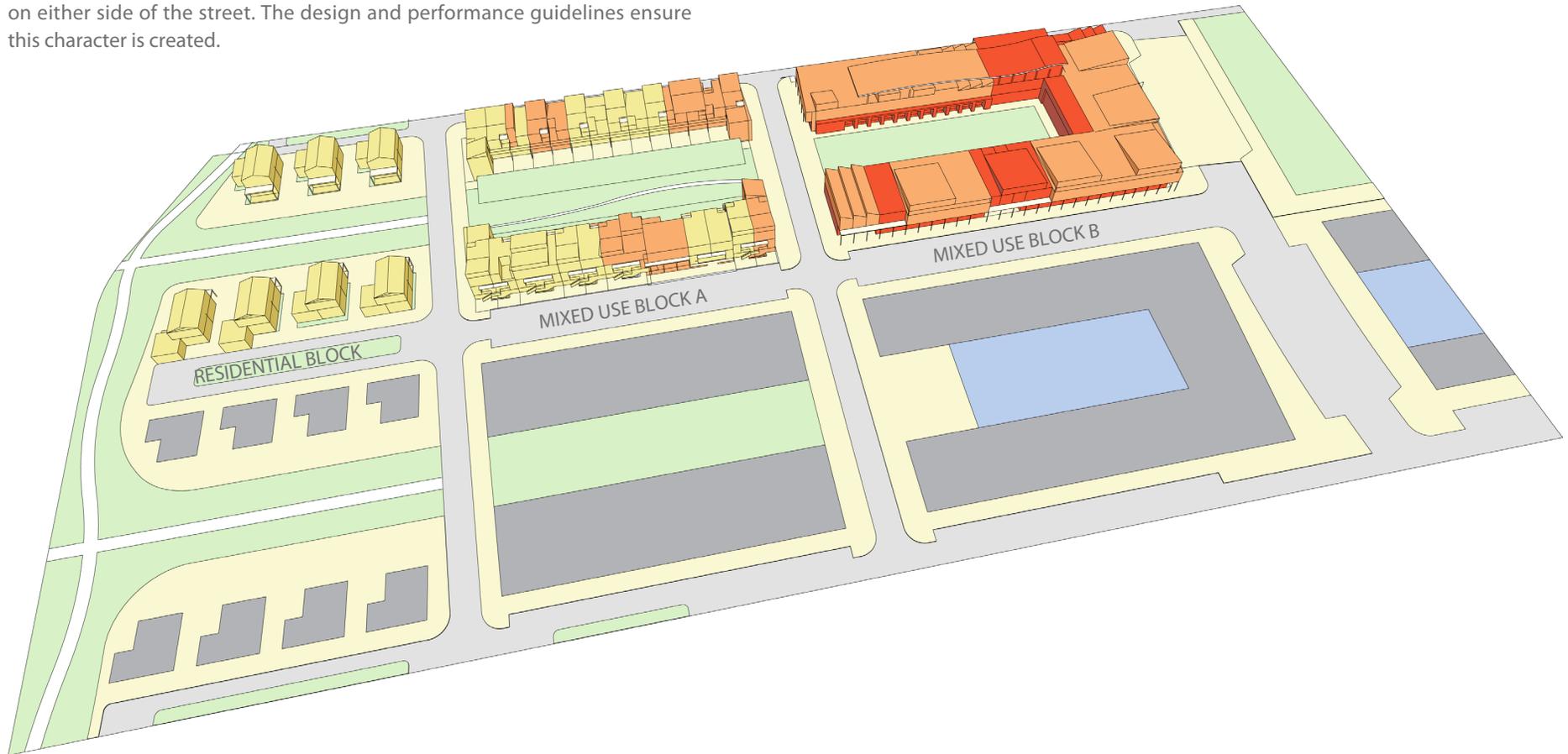


TERTIARY STREET

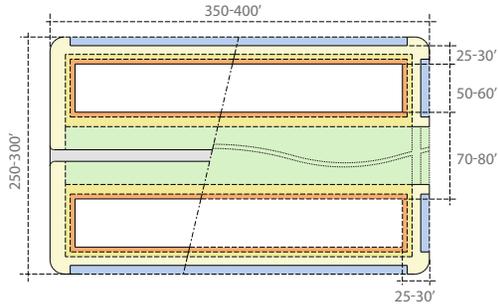
BLOCK STRUCTURE

The downtown plan recommends reconfiguring the street layout of the south node. A grid layout with small blocks is recommended to promote walkability and pedestrian safety. Unlike cul-de-sacs, this street network allows pedestrians to make direct routes between their destinations. An ideal block (right) would be approximately 250 x 350 feet.

In addition to a grid of small scale blocks, maintaining a consistent street frontage is critical for creating a pedestrian friendly urban environment. People are most comfortable in public spaces when they feel they are in an 'outdoor room', meaning that spaces are defined by the fronts of buildings on either side of the street. The design and performance guidelines ensure this character is created.



MIXED USE BLOCK A

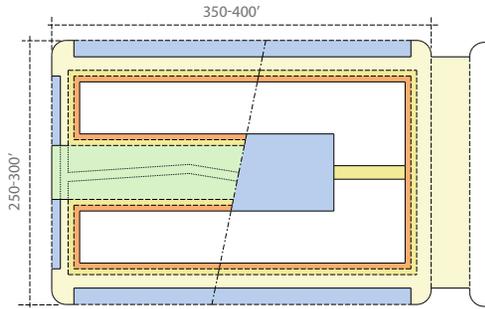


- BUILDABLE AREA
- PROJECTION ZONE
- SETBACK ZONE
- SIDEWALK
- GREEN SPACE
- PARKING

RESIDENTIAL BLOCK



MIXED USE BLOCK B



- BUILDABLE AREA
- BUILDING FOOTPRINT
- SETBACK ZONE
- SIDEWALK R.O.W
- PORCH PROJECTION
- GREEN SPACE
- PARKING
- ROADWAY



Shared courtyards and green space between residential units, like in this image, provide a suburban amenity to those who choose to live in downtown Riverside.

MATERIALS

Material choice is perhaps the most critical component of a successful built environment. Materials make up the visual perception of a building as well as its structural integrity. Interior and exterior building materials used in downtown should be safe, easy to maintain, appropriate to the use of the building, and should be complementary to the community goals and commitment to sustainable design. One of the principles for downtown development is for this area to be “a model of durable, flexible and sustainable development.” Material choice is an important component of meeting that principle.

Durable Materials

Aesthetically, durable materials show that a community takes pride in its economic core. A durable material is able to reflect or resist the natural elements, such as wind, sun, rain and ice, and therefore degrades more slowly than other materials. Durable materials require less maintenance and are less likely to become blighted. This creates a downtown that Riverside will be proud of for generations to come and that can be maintained economically.

Although durable materials can be more of an investment initially, it is an investment in the future of a prosperous economy and positive perception in Riverside. As the city has experienced in the past, cheap materials and construction practices that do not stand the test of time will only lead to bigger problems in the future. Ideally, all materials will be of the highest quality, but most importantly those areas that get the most wear and tear should be made of the most durable materials.

Healthy Materials

The community developed a goal to create a healthy place for the residents and business owners in Riverside. Indoor air quality is an important part of a healthy environment. On average, people spend 90% of their lives indoors, and indoor materials play a vital role in protecting the well-being of Riverside visitors, employees and residents. It might seem unusual to think about materials as “healthy” because they are usually thought of as visual or structural elements of a building, however, building users breathe the fumes that are off-gassed by materials, which can cause allergies and respiratory illness. Buildings in downtown Riverside should use nontoxic and no or low volatile organic compound interior materials.

Materials used in construction can also have a significant impact on the health of the environment because of the extensive supply chain and impact of extraction, processing, and transportation. These processes pollute our air and water, destroy natural habitats, and deplete natural resources. When the materials reach the end of their life and are discarded, they leach toxins into landfills which then make their way into aquifers, streams and lakes. Building projects in downtown Riverside should strive to use the highest performing materials from sources that are local to the Kansas City region and are renewable whenever possible.

Efficient Materials

In addition to being durable and healthy, building materials should also be efficient. Recycled-content, reused, rapidly renewable and/or locally harvested materials for both



This floor is made from scraps of recycled lumber.

interior and exterior environments are encouraged. Locally harvested or manufactured materials travel fewer miles to get to Riverside and therefore have a smaller carbon footprint due to reduced fuel consumption and lower emissions levels from vehicles used for transportation. Use of local materials also makes sense because they are often a better fit and are more durable in their native climate. Their use also helps support the local and regional economy.

Rapidly renewable materials are those with a quick and low impact life cycle. Some recommended renewable materials are cotton batt insulation, sunflower seed board, wheatgrass cabinets or wool carpet.

FENESTRATION

Fenestration refers to the design of openings on a building, in other words, windows and doors. The goal for fenestration in Riverside is to achieve a pattern that integrates form and function while enhancing the overall composition and increasing the energy efficiency of buildings. Windows and doors connect buildings to the outside world. Their design and function convey clues about the building's internal uses. Proper fenestration creates a relationship between the building inhabitants and the outdoor environment and can help regulate the impacts of the climate on indoor spaces.

Transparency

It is important that buildings downtown incorporate windows on the first floor. This transparency creates a relationship between the public and private spaces, increases safety with "eyes on the street," and adds visual interest to the street environment. Particularly in the mixed-use zones front façades should be composed primarily of transparent glass.

Pattern

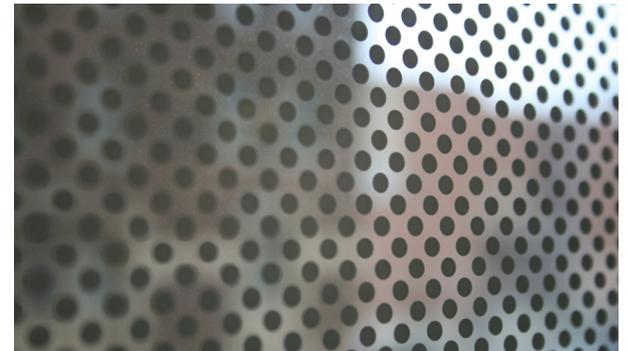
Aesthetically, windows and other openings should be well proportioned and establish a rhythm with the building and with neighboring structures. Although diversity and innovation should be encouraged, it is also important that adjacent structures are in harmony with one another.

Efficiency

In order to reduce the energy use in buildings and mitigate the impact that buildings have on the environment, openings should respond to climatic needs. Exposures should respond to solar and ventilation opportunities and constraints. Daylighting spaces with appropriate fenestration will also maximize energy consumption by reducing the need for electric lighting. Natural ventilation is also beneficial to building inhabitants, therefore windows in offices or residential areas should be operable whenever possible.



This storefront incorporates a high level of transparency. Windows are placed in a grid pattern, which gives the building visual interest.





Awnings, canopies, and sunshades are great ways to protect pedestrians and add visual interest.

Transparency allows passersby to experience the excitement of businesses in downtown

PROJECTIONS

Projections that occur beyond frontage lines are encouraged provided they meet building code and utility easement requirements. Incorporating projections from the street wall and over the right-of-way in downtown will add variety and character to the district. Examples of building mass projections are arcades, awnings, canopies, sunshades, balconies, and cornices. Projections must accomplish a specific design objective, such as controlling daylighting, glare and heat gain, or improving aesthetic conditions.

Projections, such as awnings, on the ground floor of commercial buildings are recommended and may encroach onto the public sidewalk as long as they provide

adequate vertical clearance for pedestrians and do not compromise the streetscape or street trees. These features help protect pedestrians from the elements of sun and rain.

Projections are also a good way to control the energy efficiency of a building. Shading devices designed to block summer sun and let in winter sun are encouraged on the south and west side of buildings.

Projection materials should be chosen carefully to enhance the architecture. Recommended materials include exterior grade fabrics, metals or glass. Business owners should avoid vinyl, shiny or flimsy fabrics.



PARKING

Riverside is currently an auto-dependent city, and we do not anticipate this will change in the near future. Through careful planning and design, parking can be incorporated into urban, walkable environments in a way that does not compromise the desired aesthetic and character of Riverside.

Structured parking and on street parking are the recommended types of parking amenities, particularly in the commercial and mixed-use areas. Structured parking should occur on the interior of blocks where possible. If they occur adjacent to primary or secondary streets, the first floor should be reserved for commercial use. Structured parking design should be carefully integrated into the overall aesthetics of the development.



Planting beds can add visual interest to parking lots while reducing storm water runoff and heat island effects. On street parking allows easy access to shops while reducing speeds of vehicles passing by. Structured parking is preferred in the downtown area.

On-street parking will complement structured parking. On-street parallel and angled parking is a good way to create quick access to commercial uses and also serves as traffic calming.

Surface parking lots should only be built where absolutely necessary and only in early stages of development. Lots should never be built adjacent to primary or secondary streets, but instead should be located on the interior of blocks. All surface parking lots should be properly screened and designed to reduce impact on pedestrian spaces, circulation and natural systems. Where possible, lots should be shared between businesses, especially where hours of operations do not overlap (i.e. dentist offices and music venues).

In residential zones, adequate parking can be provided with a combination of on-street parking, alley facing garages and, potentially, underground structured parking. Private drives should be used sparingly and require a approval by City Planning Department.



SIGNAGE

Signage in downtown Riverside should be used to convey information in an artful manner with signs that enhance the urban environment and overall character of downtown. Signage should be geared toward the pedestrian scale. Commercial signage should be designed for the purpose of identifying a business location in an attractive and functional manner rather than to serve as the primary advertising for a business or product. Hanging signs under eaves, awning signs, and building mounted signs are all permitted.

Signage should be ground lit or otherwise washed with light from a concealed light source, and for the most part should not be back lit or include digital displays. However, an individual business could choose to put a lighted sign or neon on the interior of a window.

Businesses may install one blade sign applied perpendicular to the building frontage that does not exceed six (6) square feet. Blade signs and their support brackets must be safely installed at a height that prevents physical contact with pedestrians. Sign material should be complementary and consistent with architectural material and should be durable and easily maintained.



These signs are designed to convey information at a pedestrian scale.



LANDSCAPING

Individual business owners may want to add landscaping features in areas adjacent to their businesses. These features can serve many functions, from screening surface lots behind buildings to adding seasonal interest and color. It is important to remember that every individual planter, tree, and flower will contribute to the character and ecology of the overall urban environment and should align with the community goals.

Aesthetic effect, function, and maintenance are components of landscape design that must all be carefully considered in downtown Riverside, and plant selection has perhaps the biggest impact on these components. The use of native or xeric plants is strongly encouraged. These hardy plants are well-suited for the Missouri climate and thus require less watering and maintenance. Native plants in particular are important for the landscapes in Riverside because they provide an aesthetic that is distinctive and true to the city and region.

A list of recommended native and xeric plants, along with their recommended uses, can be found in the Plan Appendix.

Plant Screens & Walls

Like building edges, plants can be used to define space. Hedges and small trees are often used to create walls. Plant walls are useful for screening surface parking lots or disguising blank walls. A variety of plant screen products, such as Greenscreen™, are available for climbing vines.

Planters

Planters additional to the streetscape plantings are encouraged as long as they do not obstruct pedestrian flow and are maintained by the property owner. A wide variety of native and xeric plants, both annual and perennial, can offer seasonal interest and accentuate the individuality of downtown businesses.

Irrigation

If needed, irrigation systems installed downtown should ideally be high efficiency (micro-irrigation, clock timers, moisture sensors, weather-based controls) and use non-potable water sources (greywater systems or captured rain water).



TRANSPORTATION

The community showed interest in exploring transit options in Riverside that would allow the city to connect destinations and attractions as they are developed. A trolley system that links the downtown amenities or connects to the Casino was one popular option that could increase the economic vitality of the business and city investment.

Downtown Riverside is well positioned to capitalize on any future regional commuter train or light rail that would link into the historic Interurban line.

One of the most exciting and immediate transportation opportunities is to effectively integrate the citywide trail into the downtown development and redevelopment. Not only could the trail become the primary mode of transportation in downtown, but it also creates a strong connection between the three nodes of the downtown corridor.



PERFORMANCE

Downtown Riverside should strive for high performance buildings and landscapes. High performance environments not only reduce the impact of the built environment on the natural environment but also boost worker productivity and human happiness and protect water resources and reduce runoff.

ENERGY

Reducing a building's energy consumption protects the economic bottom line for businesses, stretches the capacity of power plants, and makes city-wide renewable generation options more feasible and effective. It is important that buildings in downtown first seek to reduce energy demand. This can be accomplished by constructing an energy efficient and well-insulated building envelope with good solar orientation. Using appropriate and high efficiency heating/cooling systems and fixtures and appliances will help reduce electrical loads. Effective daylighting design will lessen the need for electric lighting.

Although the majority of a building's energy consumption can be reduced with these techniques, downtown is an optimal location for signature renewable generation sources on-site. Individual wind turbines and solar panels are possible ways to celebrate and demonstrate Riverside's commitment to building a sustainable future. In order for these building techniques to be successful, neighboring land owners will have to collaborate on projects. Not only will integrated building massing help daylight control, but solar or wind easements may be necessary to ensure a property's renewable source remains viable into the future.



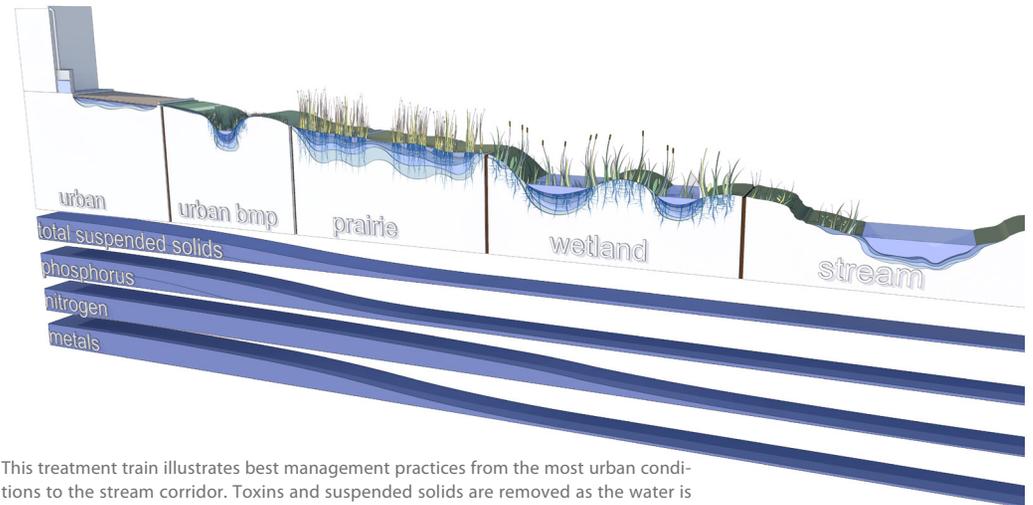
Advances in building technologies and techniques such as solar panels and solar shading allow buildings to reduce their overall energy use.

WATER

Riverside's name says it all. Water is an important resource and amenity and, according to the community survey, should be stewarded. New development and redevelopment in downtown Riverside should embrace this challenge and use water as an amenity where possible.

In traditional stormwater systems, rain falls in uniformity, and then is collected, channelized, and diverted. After disappearing underground into a series of pipes it re-emerges at great velocities off-site. In Riverside's case, it is either treated via the combined sewer system or sent directly into the Missouri River. The high velocity of stormwater runoff is one of the causes for stream bed erosion in Riverside, and stream restoration becomes more sustainable if the flows can be slowed. Sustainable stormwater management avoids these runoff problems by embracing water where it falls using a combination of best management practices (BMP's) and water storage to slow and clean storm runoff.

Buildings in downtown can contribute to the system in a variety of ways. Ideally, every building project should strive to restore stormwater runoff quantities to pre-development levels. This can be achieved primarily through two strategies. The first is to collect as much water as possible for re-use. This can be accomplished with storage systems such as rain barrels or cisterns. Captured water can then be used in greywater systems within buildings, or to irrigate outdoor plantings. The second strategy is to limit impervious surfaces and increase the opportunity



This treatment train illustrates best management practices from the most urban conditions to the stream corridor. Toxins and suspended solids are removed as the water is naturally filtered on its way to the stream.

Below, stream walls slow down the water velocity and allow sediment and pollution to settle out. Native plants filter out the pollution.



Cisterns capture building runoff and store water for reuse for watering and other needs.

for stormwater to be infiltrated on-site. The use of pervious pavements, rain gardens, bio-swales, and other BMPs allow water to infiltrate where it falls. Water that does flow from buildings and sites into the public domain should be done in an artful and environmentally sound manner. The district wide stormwater system should complement the individual building scale systems and continue to treat rainwater in a careful and elegant way.

The most efficient stormwater management systems are those that emulate natural systems. Employing natural systems-based strategies makes it possible to control both the quantity and quality of stormwater runoff. This is particularly important downtown where the opportunities for water infiltration, collection, and reuse are highest. It is expected that the City's stormwater infrastructure in south downtown will serve as a model for sustainable stormwater management by creating natural features to manage runoff rather than piping it into the larger system and ultimately the Missouri River.

In addition to reducing stormwater runoff, redevelopment in Riverside's downtown can also contribute to reducing potable water use. All buildings should reduce the amount of potable water used in the facility with low-flow toilets, faucets, shower fixtures and efficient equipment. Biological treatment can be used on-site to recycle greywater and wastewater, and cisterns or other innovative storage systems can be used to capture rainwater for non-potable uses.



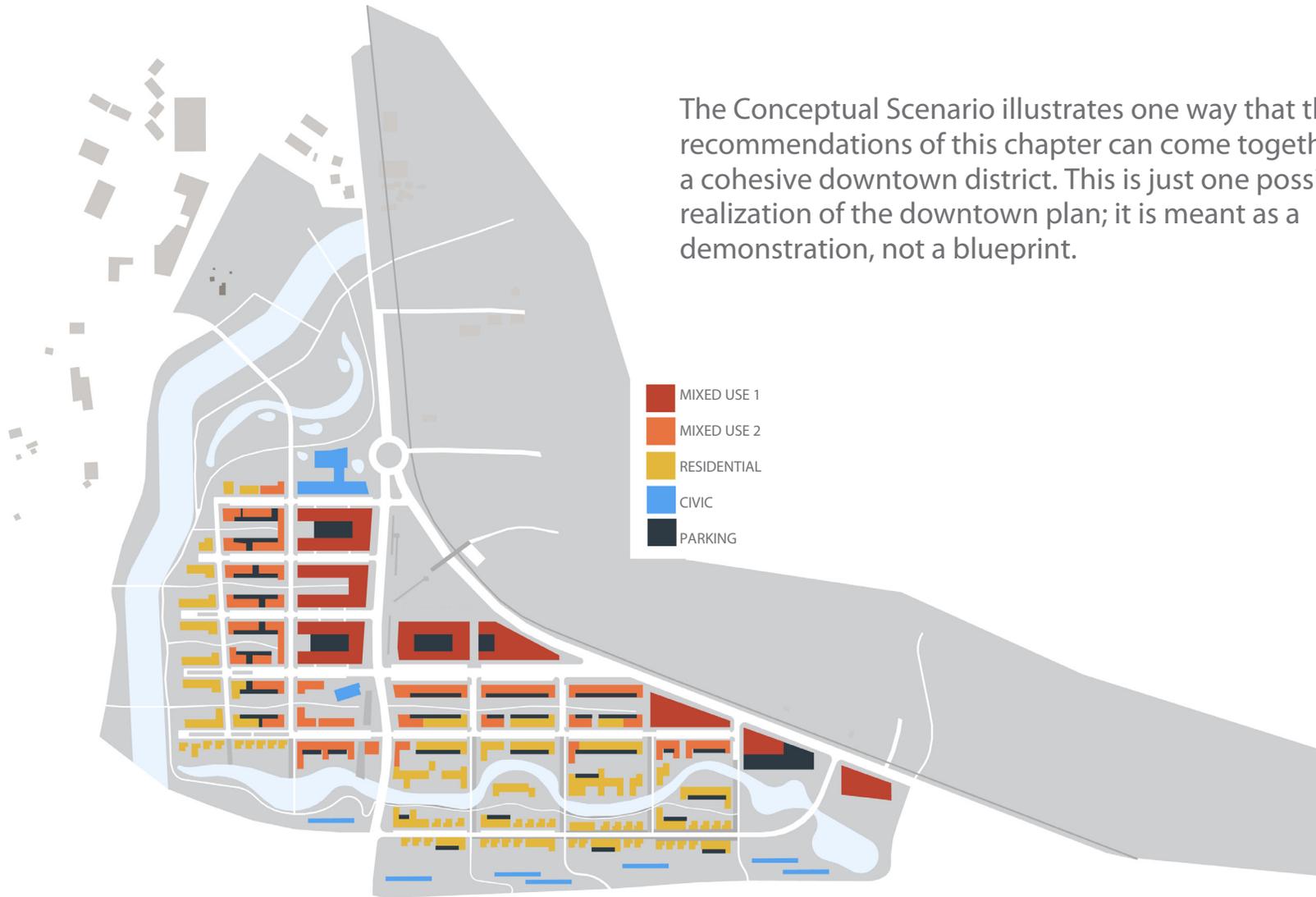
Indoor plantings can filter building waste water and provide an amenity for the building inhabitants.



Plantings in urban areas provide an amenity for pedestrians and begin the process of filtering stormwater.

The Conceptual Scenario

The Conceptual Scenario illustrates one way that the recommendations of this chapter can come together into a cohesive downtown district. This is just one possible realization of the downtown plan; it is meant as a demonstration, not a blueprint.





Sustainable Water and Community Amenity

This scenario was designed to optimize opportunities for treating stormwater through an integrated approach of street design, retention, storage, and infiltration. In addition, a primary water feature on the south of the site would allow stormwater runoff to be naturally infiltrated, while also providing an amenity for the surrounding residential units and the entire development.



Green Space

As recommended in the design and performance guidelines, the conceptual scenario contains extensive green space that is linked to the community trail system and provides fingers of continuous green space throughout the development. Not only will the green space provide opportunities for stormwater management, but it will also provide clean air, and habitat for native birds, plants, and amphibians. The central park is shown here as recommended in the Land Use Plan and provides a community meeting place and connection to the adjacent bluffs.



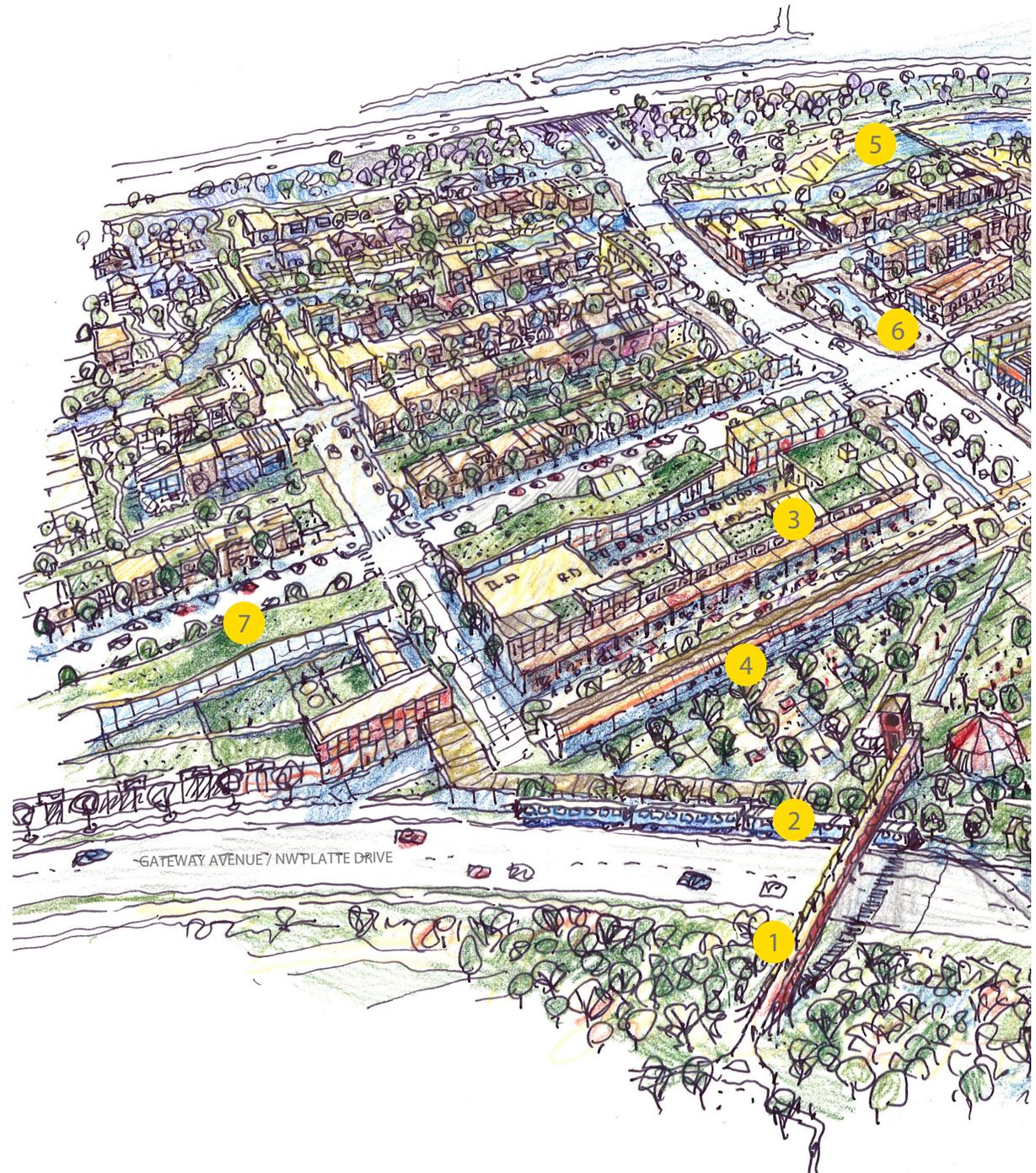
Circulation And Block Structure

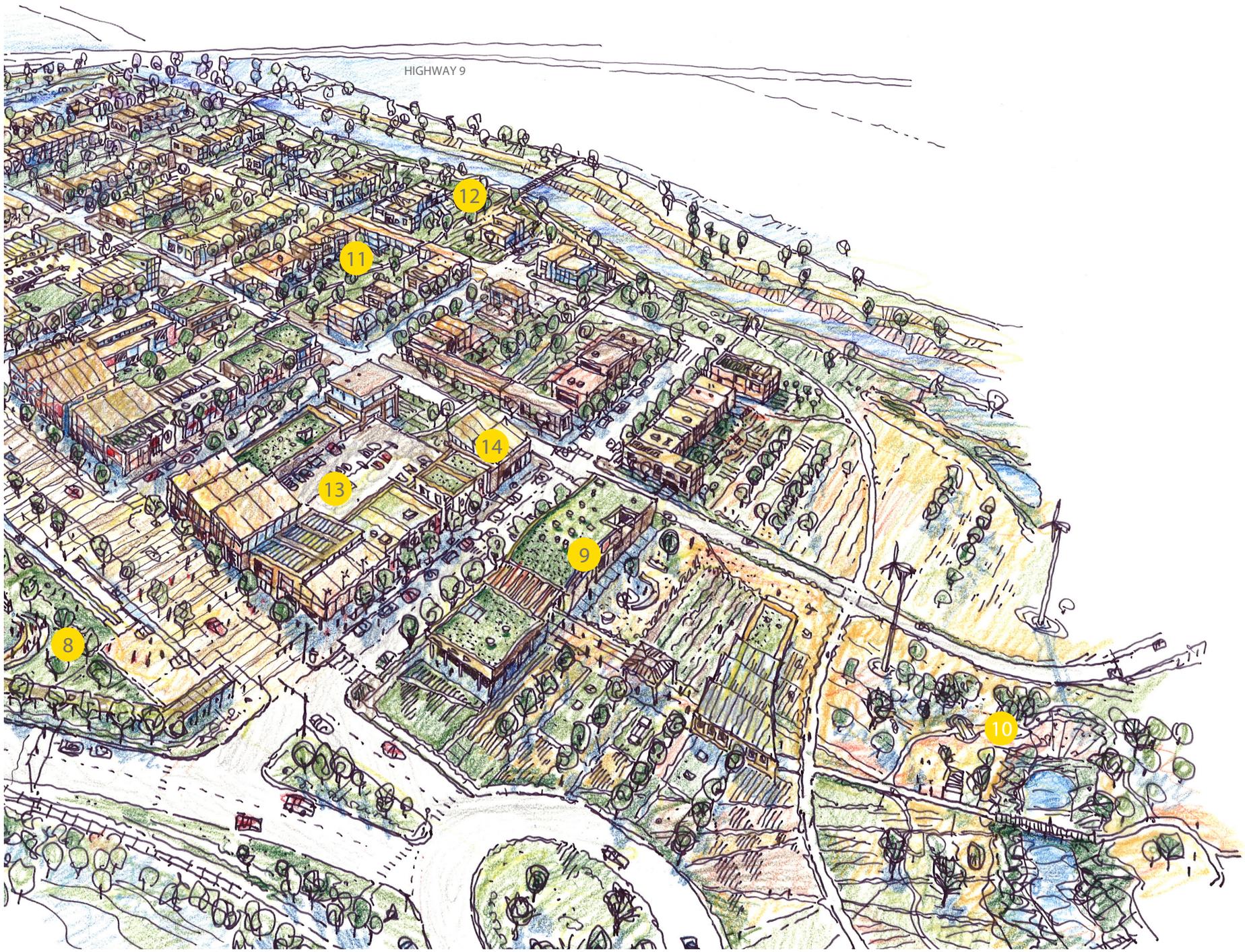
Urban designers looked at several precedents for model street size and layout for this conceptual design scenario. The small block structure allows for a comfortable pedestrian feel and appropriately sized buildings. Two primary streets including Gateway Avenue and the extended Riverway Boulevard create primary entrances and enhance the gateway into downtown. This road pattern also creates a more efficient connection to the Casino and proposed Entertainment District in south Riverside.



BIRD'S EYE VIEW OF DOWNTOWN RIVERSIDE

- 1 Pedestrian bridge to bluff development
- 2 Possible future passenger rail
- 3 Mixed use 1
- 4 Farmer's market
- 5 Stormwater feature
- 6 Best management stormwater practices
- 7 Green roof, sustainable building technique
- 8 Central green space
- 9 Future elementary school / civic center
- 10 Restoration of Line Creek oxbow and interpretive center
- 11 Single family attached housing
- 12 Single family detached housing
- 13 Internal parking structure
- 14 Mixed use 2





HIGHWAY 9

SECTION THREE

Horizons



Horizons

EXECUTIVE SUMMARY

This chapter details the planning analysis, guidelines, and design recommendations that, when viewed collectively, provide the framework to ensure that Horizons becomes a development project emblematic of the community's goals and needs.

The 2006 Plan called for industry, manufacturing, and logistics to be located in the Horizons district. This choice reflected the immediate strong and predictable demand for industrial space combined with weak demand and uncertainty about other development opportunities. Given the conditions at the time, the Board of Aldermen and the Planning Commission indicated that a high-quality industrial development was worth pursuing.

The 2010 plan revises this strategy in light of community feedback and additional analysis. The plan presents a new way forward for the Horizons district that incorporates a multitude of uses, aims to create jobs, and generates revenue for the City.



HORIZONS DISTRICT

What We Heard

The idea of a purely industrial development in Horizons was not the preferred alternative in the public meetings held in 2009-2010. Residents supported a mixed-use scenario in the district. Ideally residents would like to see a mixture that includes the development of green businesses, possibly a corporate campus, destination retail, athletic fields, educational opportunities, and appropriate compatible industry and innovation uses. Improving the long-term fiscal health of the City is a clear priority. Diversifying the tax base and broadening the economy of the city is an important step in that process.

Riverside has some of the most promising redevelopment opportunities in the region, but there is no larger undeveloped ground nearer to downtown Kansas City than Horizons. Development in Horizons has the potential to redefine the regional image of Riverside while simultaneously bolstering the financial well-being of the City. The key element is to ensure that what happens in Horizons is the best long-term solution.

Analysis

Because of its size and proximity to downtown, Horizons presents both significant challenges and opportunities. Utility and access issues have been largely solved and the largest impediments to development are now more related to issues of perception and the unknown nature of what the district will become. Until the recent levee construction this land was undevelopable because it was in the floodplain. In part because of its flooded past, and in part because of the existing development on site, there are perception issues that the district needs to overcome.

The site is very well served by the regional highway network. With the creation of the community trail network, Horizons has emerged as a regional destination for recreation as well. The trail network is an excellent example of how site barriers, like the levee system, can be imagined as a community amenity while simultaneously connecting the district to the rest of the town.

Drainage issues will continue to be a concern. The high water table makes infiltration a challenge, but there is an opportunity to turn stormwater into an amenity for future development. This chapter examines each of these issues.



Precedents

The following regional precedents have many commonalities with the Horizons district. They have similar infrastructure and access issues and both have emerged as economically successful developments and provide insight into how to maximize development potential in Horizons.

EARTH CITY

Located in St. Louis County along Interstate 70, Earth City is a significant business park near the Missouri River. The park is comparable to Corporate Woods in Kansas City and a prominent example of how good access can transform a former flood prone area into an active business zone.

CHESTERFIELD COMMONS

Located along the high-tech corridor of US Highway 40/ Interstate 64 and about 25 minutes west of downtown St. Louis, Chesterfield Commons will be composed of over 2 million square feet of development. Chesterfield Commons currently hosts more than 100 shops and 30 restaurants. Like Horizons, the district is protected by a levee and, despite its barriers, successfully emerged as a regional shopping destination generating significant sales tax revenue.

These precedents demonstrate the breadth of what can be accomplished in Horizons, and it is also important to learn from their example. However, Horizons should not be a copy of these successes, but a carefully planned development that considers Riverside's unique conditions.



Top: Earth City is an example of destination office situated adjacent to the Missouri River. Bottom: Chesterfield Commons is a formally flood prone area with successful retail and restaurants.

Principles

The following principles should be used to evaluate future development projects in Horizons. If a project meets a majority of these items, it likely should be endorsed and encouraged. If it does not, it is likely not in the best long-term interest of Riverside. Does the project:

- Strengthen the future tax base?
- Create new jobs in Riverside?
- Positively impact the image of the city?
- Welcome innovative companies or emerging technologies?
- Leverage city investments to provide amenities for residents?
- Improve the sustainability of the city or region?

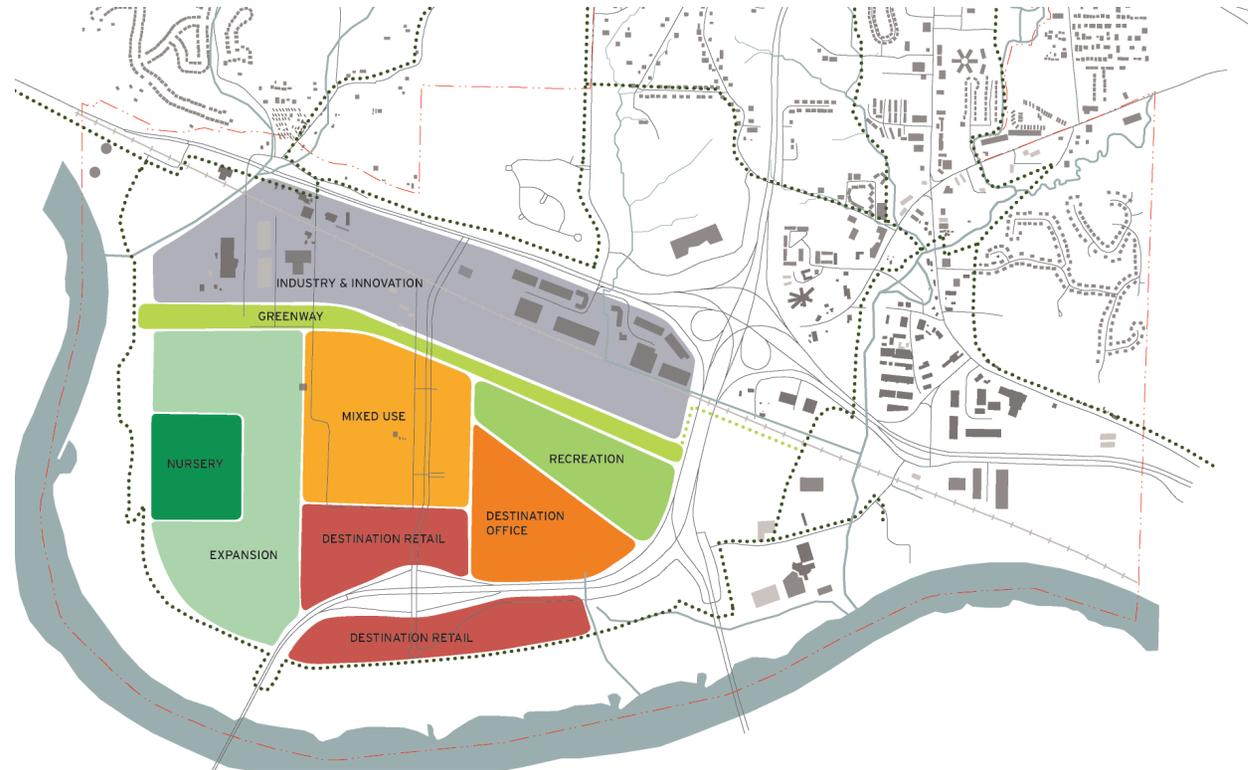
These principles should be used anytime the Board of Aldermen and City staff are evaluating development projects and incentive offerings.



Land Use

The following two scenarios integrate community interests, past development opportunities, future financial realities, and ongoing infrastructure projects into a land use plan intended to guide future development in Horizons.

There are three primary concerns to balance in the development of Horizons: the need for flexibility, the need to protect the potential for destination retail and office, and the need to pay off the City's infrastructure investments. Because of this balance, the two scenarios are iterations on a common theme meant to demonstrate how the exact size of the use types can flex to reflect market conditions or site preferences, but that in general the concepts recorded in both schemes should be honored. The sheer size of Horizons and the time it will take to realize a built out scenario mean that there is room and need for many different users. The use scenarios put forward are meant to be mixed-use and flexible. The following pages describe the character of development for each land use category.

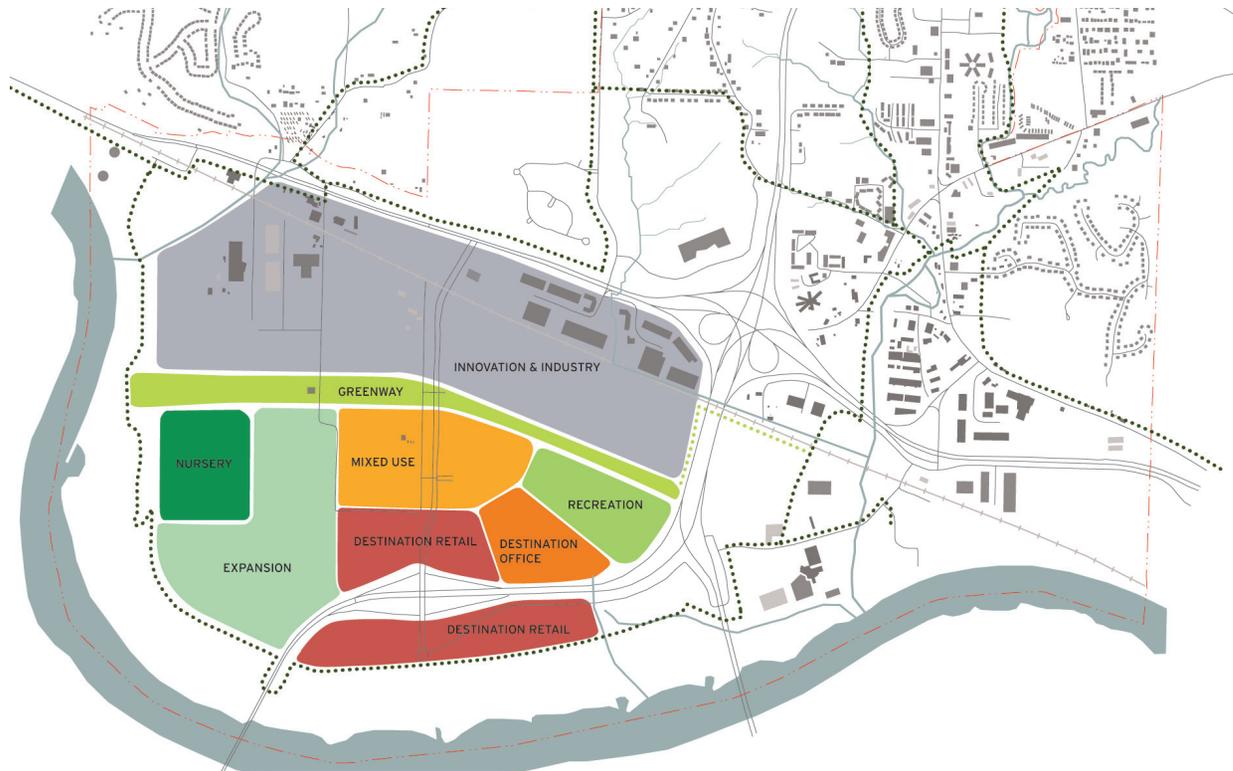


- planned trail network
- proposed trail addition

SCENARIO 1 reserves more land for mixed-use, destination office, recreation, and other uses. The industry and innovation zone is limited to the area immediately adjacent to the railroad.

0 750 1500 3000 ft





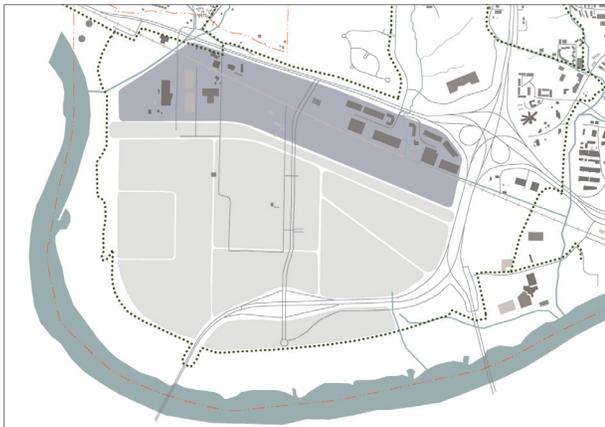
- planned trail network
- proposed trail addition

SCENARIO 2 features an expanded industry and innovation zone. Depending on future demand, this scenario may provide more space for job generating uses.



INNOVATION AND INDUSTRY

The intent of the innovation / light industrial zone in Horizons is to allow existing businesses to stay in operation and to facilitate the addition of appropriate new businesses near the rail line. This zone is envisioned as a flexible district capable of creating a significant number of new jobs in the research and manufacturing fields. With flexible spaces and the potential for large floor plate buildings, the zone should be thought of as an incubator for forward looking businesses that the community can be proud of. Uses need to adhere to a higher standard of building and design performance than a traditional light-industrial zone. The visibility from both the highway and the bluff combined with an overwhelming interest in building projects that can be durable and lasting requires the use of quality building materials and an investment in a host of beautification techniques. The zone should be all inclusive of subsequent zone uses and should include a mixture of uses, allowing businesses to maintain adjacencies that contribute to operational efficiency.



Location

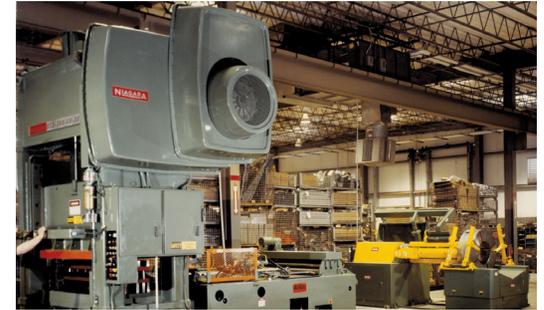
The innovation and industry zone is located toward the northern part of the site, adjacent to the rail line. This location mixes best with existing development and infrastructure while allowing for a significant amount of new development potential.

Decommissioning Plan

Riverside has experienced firsthand the consequences of industrial buildings running the course of their short lifespan (15-20 years). Building performance and flexibility standards should ensure that the building stock can be reused or recycled at the end of its lifespan. If the building cannot be reused, the development plan should include a strategy for decommissioning the building and site. One option is for the City to require a reserve to cover the decommissioning costs of industrial buildings and/or site remediation.

Look/Style/Precedents

Riverside stakeholders were very selective about the look of industrial uses they would accept in Horizons. The images they selected were not your average metal industrial warehouse, but had interesting design features and were more carefully sited, landscaped, and maintained.



The innovation and industry area supports job generating enterprises. The area is targeted for cutting edge manufacturing and research facilities.

GREENWAY

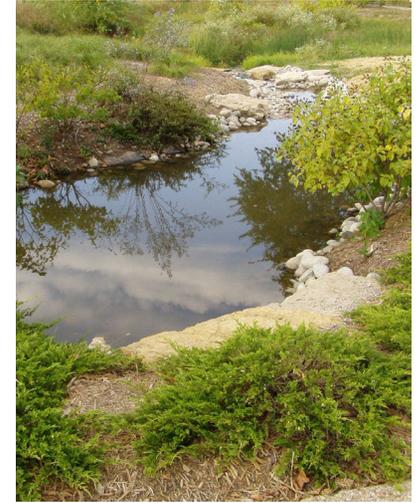
Riverside citizens have stated clearly that the city's natural systems are part of Riverside's identity and should be maintained and enhanced. This Greenway represents the continuation of that vision into the Horizons development plan.

As a buffer between the Innovation and Industry zone and the remaining Horizons uses, the Greenway will provide east-west access via a trail network and vehicle access. Ideally, the buffer will be a minimum of 200 feet to allow a rich connective ecosystem to form while not preventing pedestrian access across the Greenway. A majority of the Greenway will be a self-sustaining landscape with nodes of more formal, recreational areas. This zone provides an opportunity to manage storm water and revitalize native plant and animal habitat. The Greenway will also provide an amenity for office tenants, retail customers, and possibly future residential users.

The Greenway should act as a signature stormwater and habitat zone. As such planted species and landscape design needs to be done in a way to maximize biodiversity and incorporate natural storm water treatment techniques. The Greenway should be enhanced with interpretive signage and potentially outdoor laboratory space for educational opportunities. With direct connections to the Missouri river and a rejuvenated habitat condition, the area would be an ideal location for youth and adult natural systems education.

Location

Because the zone acts as a screen between the innovation/light industrial zone and other uses while creating a framework for east west pedestrian and vehicular access, it is important that it abuts the innovation district and completely dissects horizons from east to west. The Greenway should connect into the levee trail network.



The greenway acts as a buffer between the innovation/industrial zone and supports a combination of natural and recreational open space.





MIXED USE

Office buildings, laboratory spaces, education facilities, hotels, business incubators, and the retail uses to support the daytime workforce all happen in this zone. This area will incorporate the highest diversity of uses and the most pedestrian conducive environment. With a higher density of multiple land uses, office and recreational users will have access to restaurants and retail. Over the long term, residential uses might be feasible.

Location

This zone is located on either side of Horizons Parkway and intended to be highly visible from Highway 9. Proximity to nearby office and commercial areas will provide amenities for the daytime workforce. The location also creates a central node for development tying the site together and likely becoming one of the most identifiable and memorable places in Horizons.

top: Like the image above, the mixed use zone is the most dense and pedestrian environment within Horizons.

bottom: With views of downtown Kansas City, and proximity to the airport, corporate campuses like those pictured below would be ideal in Horizons.



DESTINATION OFFICE

Horizons offers prime real estate for office tenants with views of downtown Kansas City and the Missouri River and ideal regional access to the highway network. The outlined area is intended to be a signature corporate office campus, but should not exclude the support uses necessary to make those offices attractive to the highest level of national talent. With an increasing number of corporations using flex work schedules and an international work force, there could be a need for workforce housing, executive housing, or hotels in this area.

Location

The destination office zone is located on the eastern half of Horizons and oriented to best capture views of the downtown Kansas City skyline. Its adjacency to the mixed-use zone and the recreation zone will provide necessary amenities and access to the trail network.



DESTINATION RETAIL

Large regional commercial uses are desirable because they could have significant impact on sales tax revenue and attract regional visitors to Riverside. Although large retail venues are great for sales tax revenue, they are not historically sustainable over long periods of time. It is important that this development is treated with care in order to maintain the character of Riverside even if the initial tenants eventually move. Ideally, any future tenant in this district would be interested in creating unique experiences that are memorable to visitors and complimentary to the desired reputation of the community.

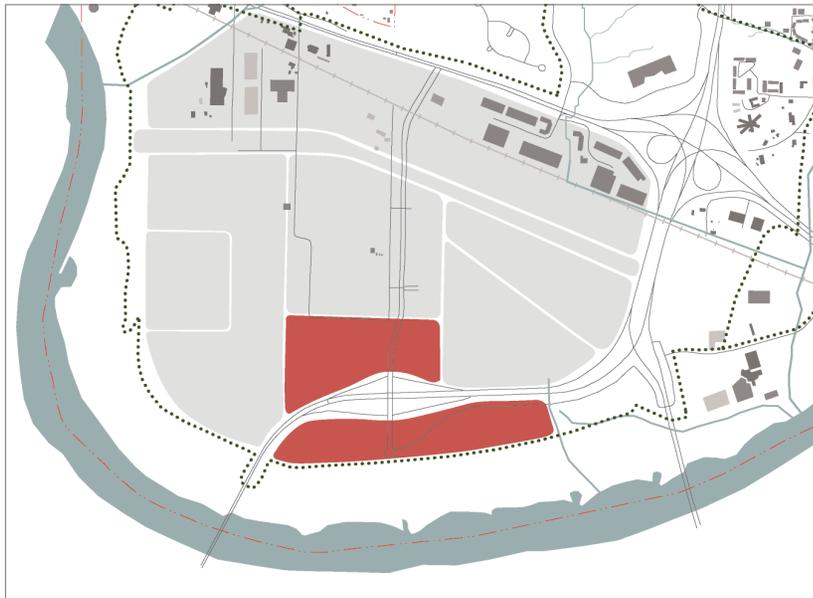
Location

These zones are located to optimize visual and vehicular access from Interstate-635. Adjacency to the Mixed Use zone also allows for synergies between the businesses in both areas.

Decommissioning Plan

Over the last few years big box stores all over the country have been going out of business and many municipalities are struggling with how to utilize the infrastructure investments made in the buildings, roads, etc. Because one of Riverside's primary concerns is long-term fiscal strength, it is important to ensure that the investments made in large scale retail are strategic and flexible enough to adapt with the economy over time. New commercial building projects should include a life-span estimate of the building type and a plan for decommissioning the building and site.

Destination retail is reserved to attract large commercial users that will be a regional draw and a possibly an anchor for future development.



RECREATION

The community was very excited about the possibility of creating a recreational amenity for Riverside and the region in Horizons. The recreation zone could accommodate a wide variety of users. From athletic fields, to an executive golf course, to some indoor year-round facilities the recreation zone is envisioned as active area drawing heavy use during the warmer months and having some facilities that drive year round visitation. Supporting commercial uses are encouraged because they increase the level of activity in the zone and should help generate sales tax revenues.

Location

The zone designated for recreation has the best connections to greater Riverside area residents, the trail system, and contributes to an aesthetic view from the destination office zone.



Alternate site – The area labeled as “expansion” is the other logical location for recreational uses. While further from downtown, this district has better highway access and greater visibility to passersby.



Higher end recreational uses such as golf courses (top) and parks are great neighbors to adjacent office development. Larger sports complexes such as soccer, baseball, or basketball provide an amenity for Riverside residents and a regional attraction.

NURSERY

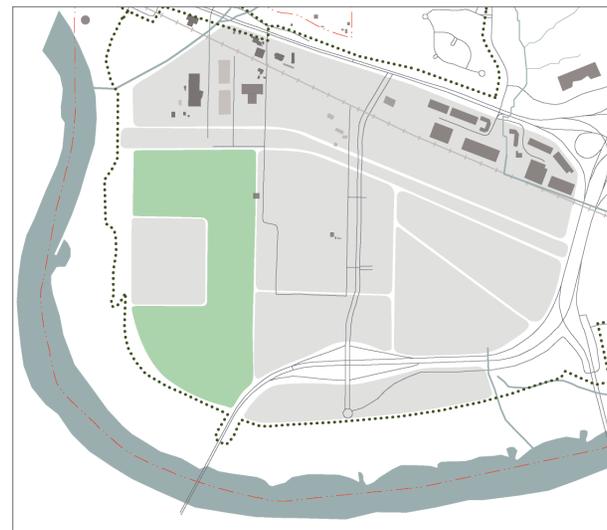
The creation of a native plant nursery in Horizons was one creative idea that came from the 2006 Plan and reemerged during our public process. This nursery could be operated by local companies and would be a reliable source of planting materials for the City's ongoing development projects. By planting now, future developments will have access to mature landscape at a price that will ensure strong landscape components in future projects.

A nursery like the one below could provide native plants to new development, Riverside residents, and the surrounding area.



EXPANSION

This zone has been identified as a place for expansion for any of the above mentioned uses. It is expected that of the desired uses in Horizons, one or two of them will require additional acres to expand depending on the evolution of market forces. Whether recreation, mixed-use, large scale retail, an expanded nursery operation, or interpretive open space area, this zone serves as a flex space for long-term development. While not off limits to immediate development if the opportunity is right, the plan does not recommend steering development here in the short-term.



Design and Performance Guidelines

ENERGY

As part of Riverside’s goal to increase energy efficiency and renewable energy generation, development in Horizons should be required to contribute to attaining that goal. Energy efficiency techniques, such as optimal solar orientation and the use of efficient materials, can significantly lower building energy use.

Renewable Energy Generation

In addition to creating energy efficient buildings, Horizons could be an ideal location for emerging

renewable energy generation companies or installations. Unfettered solar access and large expanses of land with adjacent energy demand in existing businesses make this an option worth exploring. Distributed systems currently have particularly attractive federal incentives and are becoming increasingly attractive in an age of gradually more uncertain centralized generation. It is recommended to explore this further through a Technical Assistance Program provided by the Department of Energy and the National Renewable Energy Laboratories.

BUILDING FLEXIBILITY

Commercial and business facilities should be built with the understanding that the economy changes rapidly and so must the buildings that support it. Buildings made of durable materials lease at higher rates. Buildings that provide daylight, views, and good indoor air quality contribute to the health and productivity of their inhabitants. Durable, well-designed buildings can be repurposed several times over their lifetime; the initial design should anticipate this reality.

Sunshades on this building help control solar heat gain in the summer months while allowing sunlight to heat the building in the winter.



A city-wide solar generation facility was discussed in the community meetings and could be an opportunity in Horizons.



This industrial building in North Charleston, South Carolina was converted into a business incubator and art gallery, demonstrating how flexible buildings can be re-purposed as the economy changes.



INFRASTRUCTURE

Over the last four years infrastructure has been dramatically improved in Horizons. The district now has excellent access to the regional transportation network. Wastewater, electricity, and other utilities are present. The district is ready for development. There are two infrastructure elements that could potentially position the district as a leader in attracting forward looking new businesses: renewable energy generation and green stormwater management techniques.

WATER

Stormwater runoff is already an issue in Horizons and large surface parking lots will only exacerbate this problem. Riverside is becoming known for its innovative use of green stormwater best management practices (BMPs), and this zone would be an ideal location for both dispersed and district wide BMP systems. As these stormwater management techniques are implemented, ongoing measurement will not only provide valuable information about the effectiveness of the systems to filter and hold stormwater, but will also contribute to the growing body of evidence regarding their efficacy.



top: Traditional infrastructure can threaten rivers by pumping dirty runoff directly into the natural system.



bottom: Sustainable on-site strategies that slow down stormwater help to naturally clean the water and decrease the need for heavy, traditional infrastructure.

PARKING

Surface parking will be part of development in Horizons. Light industrial uses often require large expanses of truck, trailer, or employee parking, and big box retail chains are built on a vehicle oriented model of development. The intention of this plan to ensure that the parking surfaces behave in a way that is in line with the values of the community, not to prevent the vehicular access required to make these businesses successful.

Special care should be taken to ensure parking lots are properly screened from primary road ways and pedestrian paths and broken up into smaller lots where feasible. Vegetated screens that are integrated into the site landscaping are preferred. Stormwater best management practices should also be integrated to limit the impact on the already taxed stormwater infrastructure in Horizons.

On-street parking should be included to complement surface lots and allow for diverse access points. As the density of development increases, shared parking and structured parking may be necessary to maintain the desired character in Horizons.



top: Surface parking in Horizons should be properly screened with vegetated buffers.
bottom: On street parking (below) is another way to diversify the parking options in Horizons.

LIGHTING

Light pollution is a potential nuisance to the residential homes on top of the bluffs and to migratory animals along the Missouri River. It is important that lighting in all of Horizons is done with full cut-off fixtures that minimize the light that leaves the site.

LANDSCAPING

Spending as little as 2% of a project's total costs on landscaping and site amenities improves the overall value of the property and the quality of life of employees and the greater community. In Riverside, landscaping and natural amenities will be a key element that sets the Horizons district apart from other new development areas in the Kansas City Metro. To mitigate the visual impact from adjacent bluffs, green roofs would be an ideal solution. Planting trees will also provide some visual relief and mitigate against heat island effects. Development projects should be required to submit a landscaping plan with their permit request.



left: Full cut off street lights prevent excessive amounts of light pollution and enhance views of the night sky.

bottom: Native landscaping like this not only reduces the maintenance and water needs, but also helps create an authentic character for new projects.



TRANSPORTATION NETWORK AND STREET DESIGN

The recent investments in Horizon's Parkway and the addition of access to both Highway 9 and 635 dramatically improved vehicular access to Horizons and opened the district to serious development potential. In the future additional connections to Highway 9 may be necessary but access issues have been largely solved.

Horizons Parkway will be the major thoroughfare and as such will require ongoing investments in landscape improvements to augment its parkway character. Additionally, a major east/west connector will be required as development progresses and it should also be designed to parkway standards. This east/west connector should likely be aligned with the future Greenway to provide access to that amenity.

Moving forward, the growing street network in Horizons needs to be interconnected to the highest extent possible. Allowing direct and consistent access across the site will improve connectivity and the ability for multiple forms of transportation to exist. The trail network and bike lanes should be carried through the district and integrated into street design. New trails also need to be connected in as many places as possible to the City's extensive network and make a conscious effort to connect across existing barriers.

The street network throughout the use zones in Horizons should remain fairly open. However, it is important that they do not limit connectivity for vehicles or pedestrians. Street grids with intersections are preferred over cul-de-sacs. The mixed use zones are intended to be pedestrian friendly. It is important that street guidelines focus primarily on pedestrian access, comfort, and safety. Pedestrian scaled streetscapes are a must. The destination office street network will be highly dependent on the future tenant and their needs, however, efforts should be made to minimize the impact of automobiles and maximize the ability of pedestrians to get around comfortably.

The rail lines that cut through Horizons need to be carefully considered as development proceeds. These active lines will likely play an increasingly vital role to the regional economy and could very well become an important part of how goods and services are moved in and out of Horizons in the future.



The existing rail line is an important component of the transportation system as is the levee trail network.

Timing

There is a sense of urgency driving development in Horizons. The City must meet its obligations to make debt service payments for the levee. Complicating the issue is the fact that the existing TIF funding will be phased out in 2019 and 2029 which will diminish the City's general fund. Development in Horizons could help free up funds to tackle many of the City's other important projects like downtown investment or continuing the trail network.

Given the situation, the community wanted to move proactively with long-term fiscal health of the community and the ability to create new jobs as the clear priorities.

Partnerships

The magnitude of the opportunities and challenges in Horizons will continue to require regional partnerships in order to reach its full potential. Agencies such as the KCADC, Platte County EDC, the Northland Chamber, and many others will all likely have a role in the ultimate development. It will also be important to maintain good working relationships with existing Horizons residents and neighbors. The impact of the potential development will be felt by the entire city and it will be advantageous to maintain open communication with residents and property owners.



PLATTE COUNTY
ECONOMIC DEVELOPMENT COUNCIL



NORTHLAND REGIONAL
CHAMBER of COMMERCE



BOOK DESIGN

BNIM

PHOTOGRAPHY

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